



**Case #BZA24-000008**  
**Kiawah Island BZA Meeting of June 17, 2024**

**Applicant/Property Owner:** LOGAN JOHN C JR, LOGAN THERESA C

**Representative:** Megan Burns

**Property Location:** 35 Painted Bunting

**TMS#:** 207-07-00-057

**Zoning District:** 12,842 sqft (.29 acres)

**Lot Size:** R-1, Residential Zoning District

**Request:** Variance request for the reduction of the required 15' side setback for approximately 18 square feet encroachment for a proposed bathroom extension located at 35 Painted Bunting, Kiawah Island, SC.

**Requirement:**

Chapter 12. Land Use Planning and Zoning, Art. II. Zoning, Div. 2. Zoning Map/Districts, Sec. 12-65. - R-1, Residential District.

Required setbacks: 25 (Painted Bunting); 15' (Side); 30' (lagoon/golf)

Maximum 33% Lot Coverage

The Ordinance defines Setback as "a required minimum distance from the lot line, or street right-of-way, or OCRM critical line that establishes an area within which a structure shall be erected." The Ordinance defines Side Setback as "any setback other than a rear or front setback."

**Sec. 12-65. R-1, Residential District.**

- (a) *Purpose and intent.* The purpose of the R-1 zoning district is to promote stable residential neighborhoods consisting of low density, detached, single-family dwellings and surrounding parks, golf courses, and open spaces. Activities and endeavors which might serve to mitigate against this purpose shall be prohibited or strictly regulated.
- (b) *District regulations.* The following apply to all dwelling units in the R-1 zoning district:
  - (1) The maximum density for this district is three dwelling units per acre;
  - (2) All required parking shall be enclosed;
  - (3) Open storage is prohibited;
  - (4) Lot standards (setbacks, lot coverage, etc.) for single-family detached dwellings on existing platted lots that are included in article VII of this chapter, the Kiawah Island Property Setback Requirements Appendix, dated 7-10-2007, incorporated herein by reference and adopted hereto as said article VII shall apply in lieu of the setback requirements in table 2B following subsection (b)(6) of this section;
  - (5) Lot standards (setbacks, lot coverage, etc.) for single-family detached dwellings not covered by subsection (b)(4) of this section are listed in table 2B following subsection (b)(6) of this section and table 2C following section 12-66(b)(8);
  - (6) Authorized uses are listed in table 3A in section 12-102(c).

| Table 2B. Lot Standards for R-1 Single-Family Detached Dwellings   |                         |                 |                                |                                 |                        |                     |                |        |
|--|-------------------------|-----------------|--------------------------------|---------------------------------|------------------------|---------------------|----------------|--------|
| Lot Size<br>(square feet)  | Maximum Lot<br>Coverage | Depth<br>(feet) | Width<br>(feet) <sup>(1)</sup> | Minimum Yard Setbacks<br>(feet) |                        |                     | Maximum Height |        |
|  |                         |                 |                                | Front <sup>(2)</sup>            | Side <sup>(3)(5)</sup> | Rear <sup>(4)</sup> | (stories)      | (feet) |
| 8,000—11,999   | 40 percent              | 100             | 60                             | 25                              | 10                     | 25                  | 2.5            | 40     |
| <b>12,000+</b>   | <b>33 percent</b>       | 100             | 75                             | 25                              | 20                     | 25                  | 2.5            | 40     |
| <sup>(1)</sup> For lots on cul-de-sacs or similar circumstances, the minimum width shall apply at the front yard setback line. Cul-de-sac lots shall have a minimum width of 25 feet at the street line. The minimum width of any flag lot may be reduced to 20 feet, provided that the minimum width specified in the table is provided at the front building setback line. |                         |                 |                                |                                 |                        |                     |                |        |
| <sup>(2)</sup> On corner and double-frontage lots, front setback standards will apply to each lot line that borders a street right-of-way. The rear yard setback shall apply to the opposite side of the principal structure's front main entrance. The side yard setback shall apply to the remaining sides.  |                         |                 |                                |                                 |                        |                     |                |        |
| <sup>(3)</sup> A minimum of 15 feet must be provided between structures.   |                         |                 |                                |                                 |                        |                     |                |        |
| <sup>(4)</sup> The minimum yard requirements shall be increased to 30 feet from any lot or parcel boundary which abuts a golf course.  |                         |                 |                                |                                 |                        |                     |                |        |
| <sup>(5)</sup> Minimum setbacks in side yard for lots currently in existence and reflected on the current zoning map and fronting on Eugenia Avenue the side yard setback shall be ten feet.   |                         |                 |                                |                                 |                        |                     |                |        |

(Code 1993, § 12A-205; Ord. No. 2005-08, § 12A-205, 10-12-2005; Ord. No. 2006-10, § 2, 2-6-2007; Ord. No. 2007-05, § 2(12A-205), 7-10-2007)

**OTTER ISLAND ROAD (SEE GRAPHICS ALSO) (UNDEVELOPED LANDS) cont.**

|    |              |                              |              |
|----|--------------|------------------------------|--------------|
| 73 | 15           | 20 (lot 72)<br>15 (easement) | 10           |
| 74 | See Graphics | 20                           | See Graphics |
| 75 | 25           | 20                           | 30           |
| 76 | 25           | 20                           | See Graphics |
| 77 | 40           | 20                           | See Graphics |
| 78 | See Graphics | 20                           | See Graphics |
| 79 | See Graphics | 20                           | See Graphics |
| 88 | 25           | See Graphics                 | See Graphics |
| 89 | 25           | See Graphics                 | See Graphics |
| 90 | 25           | See Graphics                 | See Graphics |

**OYSTER RAKE (DEVELOPED LANDS)**

| <u>Lot</u> | <u>Front</u>     | <u>Side</u>                      | <u>Rear</u>     |
|------------|------------------|----------------------------------|-----------------|
| 530        | 25 (Oyster Rake) | 15 (lot 531)<br>25 (K.I. Pkwy)   | 30 (golf)       |
| 531-543    | 25 (Oyster Rake) | 15 (lots)                        | 30 (golf)       |
| 544-548    | 25 (Oyster Rake) | 15                               | 30 (marsh)      |
| 549-552    | 25 (Oyster Rake) | 15                               | 30 (open space) |
| 553-571    | 25 (Oyster Rake) | 15                               | 50 (K.I. Pkwy)  |
| 572        | 25 (Oyster Rake) | 15 (lot 571)<br>25 (Oyster Rake) | 50 (K.I. Pkwy)  |
| 573        | 25 (Oyster Rake) | 25 (Oyster Rake)<br>15 (lot 597) | 20 (open space) |
| 574-584    | 25 (Oyster Rake) | 15                               | 20 (open space) |
| 585        | 25 (Oyster Rake) | 15 (lot 584)<br>25 (Oyster Rake) | 20 (open space) |
| 586-597    | 25 (Oyster Rake) | 15                               | 20 (open space) |

**OYSTER SHELL ROAD (UNDEVELOPED LANDS)**

Because of the limited buildable areas, preservation zones, and selective vista clearing zones associated with these lots, please see the graphics.

**PAINTED BUNTING LANE (DEVELOPED LANDS)**

| <u>Lot</u> | <u>Front</u>         | <u>Side</u>                    | <u>Rear</u>      |
|------------|----------------------|--------------------------------|------------------|
| 32         | 25 (Painted Bunting) | 25 (Greensward)<br>15 (lot 33) | 30 (lagoon)      |
| 33-37      | 25 (Painted Bunting) | 15                             | 30 (lagoon/golf) |
| 38         | 25 (Painted Bunting) | 15 (lot 37)<br>25 (Greensward) | 30 (lagoon)      |

**PALM WARBLER ROAD (DEVELOPED LANDS)**

| <u>Lot</u> | <u>Front</u>      | <u>Side</u>                    | <u>Rear</u>                 |
|------------|-------------------|--------------------------------|-----------------------------|
| 303        | 25 (Palm Warbler) | 25 (Surfwatch)<br>15 (lot 304) | 30 (lagoon)                 |
| 304-309    | 25 (Palm Warbler) | 15                             | 30 (lagoon/golf)            |
| 310        | 25 (Palm Warbler) | 15 (lot 309)<br>15 (cart path) | 30 (golf)                   |
| 311        | 25 (Palm Warbler) | 15 (cart path)<br>15 (lot 312) | 30 (golf)                   |
| 312        | 25 (Palm Warbler) | 15                             | 30 (golf)                   |
| 313        | 25 (Palm Warbler) | 15 (lot 312)<br>15 (bike path) | 30 (golf)<br>20 (bike path) |
| 314        | 25 (Palm Warbler) | 15 (lot 315)<br>15 (bike path) | 20 (bike path)              |
| 315-316    | 25 (Palm Warbler) | 15                             | 30 (golf)                   |
| 317        | 25 (Palm Warbler) | 15 (lot 316)<br>15 (cart path) | 30 (golf)                   |
| 318        | 25 (Palm Warbler) | 15 (cart path)<br>15 (lot 319) | 30 (golf)                   |
| 319-323    | 25 (Palm Warbler) | 15                             | 30 (golf)                   |
| 324        | 25 (Palm Warbler) | 15 (lot 323)<br>30 (lagoon)    | 30 (golf)                   |

**PEPPER VINE (DEVELOPED LANDS)**

| <u>Lot</u> | <u>Front</u> | <u>Side</u> | <u>Rear</u> |
|------------|--------------|-------------|-------------|
| 70-71      | 15           | *           | 10          |
| 72-75      | 20           | 7           | 15          |
| 76         | 25           | 15          | 20          |
| 77         | 20           | 7           | 15          |

\*Zero lot line homes may be built with no setback on one side of the property but must have at least a 14 foot separation between buildings.

**Staff Review:**

The applicant and property owner John and Theresa Logan being represented by Megan Burns are requesting a variance for the reduction of the required 15' side setback for approximately 18 square feet encroachment for a proposed bathroom extension located at 35 Painted Bunting (TMS# 207-07-00-057). The subject property is located within the R-1, Residential District.

The lot is approximately 12,842 square feet (0.29 acres) in size. Per Charleston County records, the single-family residence was constructed in 1977. The adjacent properties to the north and south are also located in the R-1, Residential Zoning District. The subject property sits adjacent to Cougar Point Golf Course to the west. The adjacent property to the west is zoned PR, Park and Recreation. The subject property is legally nonconforming with regards to setbacks. The subject property is subject to review by the Kiawah Island Architectural Review Board.

The *Town of Kiawah Island Land Use Planning and Zoning Ordinance* requires a twenty-five (25) foot front setback off Painted Bunting, fifteen (15) foot side setbacks, and a thirty (30) foot rear setback. The subject property has a maximum lot coverage 33%.

The Ordinance defines Setback as “a required minimum distance from the lot line, or street right-of-way, or OCRM critical line that establishes an area within which a structure shall be erected.” The Ordinance defines Side Setback as “any setback other than a rear or front setback.”

The applicant’s plans include removing the existing shed on the south side of the property (side setback) which will remove approximately 18 square feet and adding a bathroom addition totaling approximately 28 square feet. The applicants proposed plans also include reducing the HVAC stand on the south side of the property which will remove approximately 18 square feet. The net reduction in square feet is approximately 9 square feet. The proposed bathroom addition encroaches into the required setback by approximately 5 feet. The existing shed encroaches into the side setback by approximately 6 feet, 6 inches. The applicants’ plans also include a new garage addition and driveway addition. The existing lot coverage is approximately 31.14%. The proposed lot coverage is 33.59%.

The applicant submitted to the Kiawah Island Architectural Review Board (KIARB) for review. The KIARB on April 4, 2024 granted approval for variance submittal stating,

*“The board reviewed the setback variance request at the 03/20/24 meeting and provided the proposed encroachment is no greater than existing, and no windows on this element will face the neighbors to the left, the variance is approved given the reduction in the distance of the existing encroachment from the setback and the improvements to the appearance of this element.”*

Please see the attachments for further information regarding this request. A site visit was conducted on May 31, 2024, at which time the following determinations were made regarding the Approval Criteria for Variances, as stated in Chapter 12 of the Town of

Kiawah Island *Land Use Planning and Zoning Ordinance*, Article II, Division 5, Section 12-163.(4):

**Staff Findings:**

The BZA may grant a variance only if exceptional circumstances exist, and where practical difficulty or unnecessary hardship is so substantial, serious, and compelling that relaxation of the general restrictions ought to be granted. No variance shall be granted unless the applicant shall show and the BZA shall find that:

§ 12-163.(4)a.: *There are extraordinary and exceptional conditions pertaining to the particular piece of property;*

**Staff Response:** **There may be extraordinary and exceptional conditions pertaining to the property due to the non-conformity of the existing home. The proposed plans reduce the encroachment amount by approximately 9 square feet. Per the applicant's letter of intent, "*The requested variance pertains to a small area that will exceed the setback requirements on the left side of the house. The construction plans do not extend the location of the existing shed on the property which has been there since the property's construction in 1977. The plans remove the existing shed and build an accessible master bath in its place. The new exterior and roof lines will be consistent with the existing structure and will enhance the overall appearance of the property.*"**

§ 12-163.(4)b.: *These conditions do not generally apply to other property in the vicinity;*

**Staff Response:** **Existing structures in the vicinity may or may not have similar circumstances based on current setback standards. These conditions may be unique to the subject property and may not generally apply to other properties in the vicinity. Per the applicant's letter of intent, "*The location of the current shed/proposed primary bath is on the left side of the house. The lot is at the top of a cul-de-sac. The improvement will not be visible from the street and will not impede on its neighbor's use of their house and lot.*"**

§ 12-163.(4)c.: *Because of these conditions, the application of this Ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property;*

**Staff Response:** **The application of this *Ordinance* to 35 Painted Bunting would restrict the construction of the proposed addition as the existing and proposed structure encroaches into the required 15-foot rear setback. However, it does not unreasonably restrict the utilization of the property. Per the applicant's letter of intent, "*The application of the ordinance, at this time, would restrict the property use from its current utilization. Given there is a***

***structure sitting over the setback, it seems that denying the enhancement of the existing structure (the shed) would be an unreasonable restriction on the use of the property.”***

§ 12-163.(4)d.: *The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the zoning district will not be harmed by the granting of the variance;*

**Staff Response:** **The authorization of a variance may not be of substantial detriment to adjacent property or to the public good, and the character of the zoning district may not be harmed by the granting of this variance. The proposed addition encroaches into the setback by approximately 5 feet. The existing structure encroaches into the setback by approximately 6 feet 6 inches. The total square footage encroachment is being reduced by approximately 9 square feet due to the reduction of the HVAC stand, Per the applicant’s letter of intent, “*The planned structure is a replacement of the existing shed on the property. The property renovations will bring the exterior walls and roof line in line with the rest of the property. These renovations will enhance the overall appearance of the house.*”**

§ 12-163.(4)e.: *The Board of Zoning Appeals shall not grant a variance the effect of which would be to allow the establishment of a use not otherwise permitted in a zoning district, to extend physically a nonconforming use of land, or to change the zoning district boundaries shown on the official zoning map;*

**Staff Response:** **Granting of this variance would not allow the establishment of a use not otherwise permitted in this zoning district, extend physically a non-conforming use of land, or change the zoning district boundaries. Per the applicant’s letter of intent, “*The planned structure is consistent with the use permitted in the property’s zoning district. The planned structure will not extend physically nonconforming use of the land as the planned use is conforming. The planned structure will not change the zoning district boundaries as shown on the zoning map.*”**

§ 12-163.(4)f: *The fact that property may be utilized more profitably, should a variance be granted, may not be considered grounds for a variance;*

**Staff Response:** **Profitability may not be considered grounds for this variance request. Per the applicant’s letter of intent, “*The planned construction is to enhance the property for the enjoyment of the owners who will be living in it full time once the project is completed. The current master bath is small and not accessible whereas the new plan allows for aging in place.*”**

§ 12-163.(4)g.: *The need for the variance shall not be the result of the applicant’s own actions;*

**Staff Response:** **The need for the variance may not be the result of the**

applicant's own actions. Per Charleston County records, the property was acquired by John Logan Jr. & Theresa Logan in 2010. Per the applicant's letter of intent, "*The owners have been working on this plan over the course of two years and have not forced the design to encroach into the setback. They have, in fact, reduced the encroached area with the master bath and by reworking the HVAC stand.*"

§ 12-163.(4)h.: *Granting the variance will not be contrary to the public or neighborhood interest nor will not adversely affect other property in the vicinity, nor interfere with the harmony, spirit, intent and purpose of these regulations;*

**Staff Response:** **Granting the variance may not be contrary to the public or neighborhood interest nor will not adversely affect other property in the vicinity, nor interfere with the harmony, spirit, intent and purpose of these regulations; Per the applicant's letter of intent, "*The renovation has been designed and engineered to blend in with other properties in the immediate vicinity. The renovations are consistent with the public and neighborhood interests and will not adversely affect other properties in the vicinity, interfere with the harmony, spirit and purpose of these regulations. The area that will encroach into the setback on the left side of the house falls between the owner's house and the garage wall of the residence located at 34 Painted Bunting. There is no path or foot traffic between the houses, and this will not limit their enjoyment of or use of their house.*"**

§ 12-163.(4)i.: *Granting of the variance does not substantially conflict with the Comprehensive Plan or the purposes of this Ordinance.*

**Staff Response:** **Granting of the variance may not substantially conflict with the *Comprehensive Plan* or the purposes of the *Ordinance*. The applicant's proposed plans do not exceed the maximum lot coverage. The existing encroachment is being reduced to achieve greater conformity with existing standards. Per the applicant's letter of intent, "*Granting the variance to construct a master bathroom in place of the existing shed does not conflict with the Comprehensive plan or purposes of this ordinance.*"**

**Board of Zoning Appeals' Action:**

The Board of Zoning Appeals may approve, approve with conditions, or deny Case #BZA24-000008 (variance request for the reduction of the required 15' side setback for approximately 18 square feet encroachment for a proposed bathroom extension) based on the BZA's "Findings of Fact", unless additional information is deemed necessary to make an informed decision.

# Town of Kiawah Island Board of Zoning Appeals

JUNE 17, 2024



*Town of Kiawah Island Municipal Center | 4475 Betsy Kerrison Parkway | Kiawah Island, SC 29455*

## CASE# BZA24-000008

|                                  |   |
|----------------------------------|---|
| <b>Applicant/Property Owner:</b> | <b>John &amp; Theresa Logan</b>   |
| <b>Representative:</b>           | <b>Megan Burns</b>  |
| <b>Property Location:</b>        | <b>35 Painted Bunting</b>   |
| <b>TMS#:</b>                     | <b>207-07-00-057</b>  |
| <b>Zoning District:</b>          | <b>R-1, Residential Zoning District</b>   |
| <b>Lot Size:</b>                 | <b>12,842 sq. ft. (0.29 acres)</b>  |
| <b>Request:</b>                  | <b>Variance request for the reduction of the required 15' side setback for approximately 18 square feet encroachment for a proposed bathroom extension.</b> |

**CASE# BZA24-000008**

**Chapter 12. Land Use Planning and Zoning, Art. II. Zoning, Div. 2. Zoning Map/Districts, Sec. 12-65. - R-1, Residential District.**

**Required setbacks: 25' (Front); 15' (side); 30' (lagoon/golf)**

**Maximum 33% Lot Coverage**

**The Ordinance defines Setback as “a required minimum distance from the lot line, or street right-of-way, or OCRM critical line that establishes an area within which a structure shall be erected.” The Ordinance defines Side Setback as “any setback other than a rear or front setback.”**

3

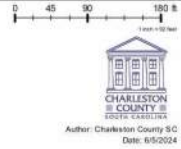


4



**BZA24-00008**  
**PID:** 2070700057  
**OWNER:** LOGAN JOHN C JR  
**PLAT BOOK PAGE:** AH-66  
**DEED BOOK PAGE:** 0112-597  
**Jurisdiction:** TOWN OF KIAWAH ISLAND

Note: The Charleston County makes every effort possible to produce the most accurate information. The layers contained in the map service are for information purposes only. The Charleston County makes no warranty, express or implied, nor any guaranty as to the content, sequence, accuracy, timeliness or completeness of any of the information provided. The County explicitly disclaims all representations and warranties. The reader agrees to hold harmless the Charleston County for any cause of action and costs associated with any causes of action which may arise as a consequence of the County providing this information.



**Case # BZA24-000008**  
**BZA Meeting of June 17, 2024**  
**Subject Property: 35 Painted Bunting – Kiawah Island**

Variance request for the reduction of the required 15' side setback for approx. 18 SF encroachment for a proposed bathroom extension.



### Subject Property



### Adjacent Properties



### Property Side



### Property Rear



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### Subject Property



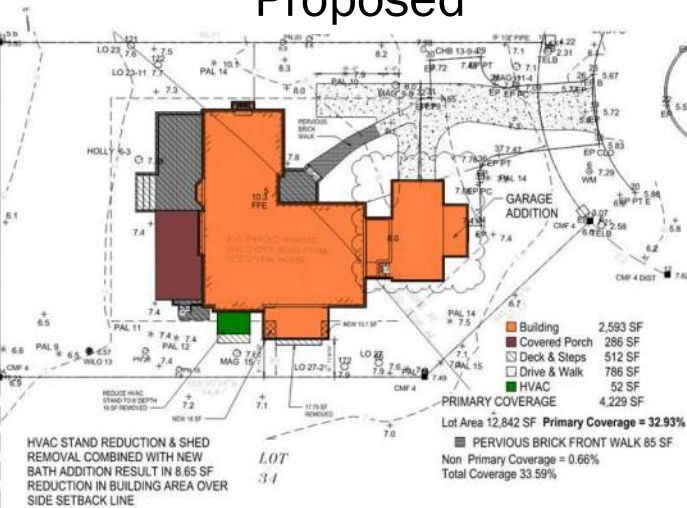
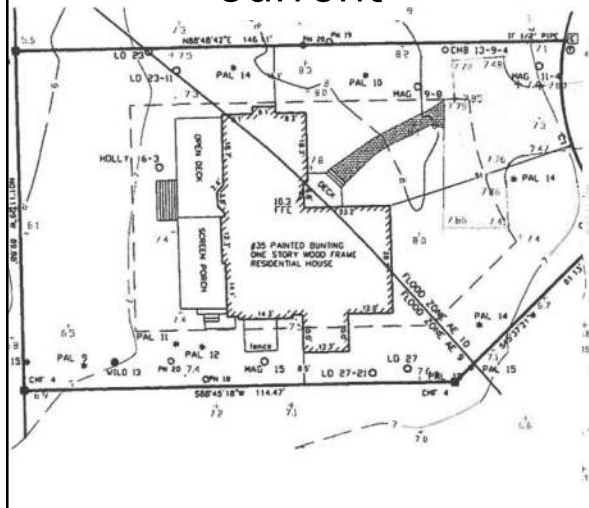
12

# Subject Property



## Current

## Proposed



## Variance Approval Criteria

According to Chapter 12 of the Land Use Planning and Zoning Ordinance of the Town of Kiawah Island Code of Ordinances, Section 12-163. Variances (4) Approval Criteria, the Board of Zoning Appeals may grant a variance only if exceptional circumstances exist, and where practical difficulty or unnecessary hardship is so substantial, serious, and compelling that relaxation of the general restrictions ought to be granted. No variance shall be granted unless the applicant shall show and the BZA shall find that:

- a) There are extraordinary and exceptional conditions pertaining to the particular piece of property;
- b) These conditions do not generally apply to other property in the vicinity;
- c) Because of these conditions, the application of this Ordinance to the particular piece of property would effectively prohibit or unreasonably restrict the utilization of the property;
- d) The authorization of a variance will not be of substantial detriment to adjacent property or to the public good, and the character of the zoning district will not be harmed by the granting of the variance;

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## Variance Approval Criteria

- e) The Board of Zoning Appeals shall not grant a variance the effect of which would be to allow the establishment of a use not otherwise permitted in a zoning district, to extend physically a nonconforming use of land, or to change the zoning district boundaries shown on the official zoning map;
- f) The fact that property may be utilized more profitably, should a variance be granted, may not be considered grounds for a variance;
- g) The need for the variance shall not be the result of the applicant's own actions;
- h) Granting the variance will not be contrary to the public or neighborhood interest nor will not adversely affect other property in the vicinity, nor interfere with the harmony, spirit, intent and purpose of these regulations;
- i) Granting of the variance does not substantially conflict with the Comprehensive Plan or the purposes of this Ordinance.

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## **Board of Zoning Appeals Action**

The Board of Zoning Appeals may approve, approve with conditions or deny Case #BZA24-000008 (Variance request for the reduction of the required 15' side setback for approximately 18 square feet encroachment for a proposed bathroom extension.) based on the BZA's "Findings of Fact", unless additional information is deemed necessary to make an informed decision.

In granting a variance, the Board of Zoning Appeals may attach to it such conditions regarding the location, character, or other features of the proposed building, structure, or use as the Board may consider advisable to protect established property values in the surrounding area, or to promote the public health, safety, or general welfare.

**LEGEND:**

- SEWER CLEAN-OUT/SERVICE
- WATER VALVE
- IS 5/8"RB (IRON SET) SIZE/TYPE NOTED
- IF (IRON FOUND) SIZE/TYPE NOTED
- △ PK NAIL SET
- ▲ PK NAIL FOUND
- ⊙ WATER METER
- ⊠ ELECTRICAL TRANSFORMER
- ⊠ ELECTRICAL BDX
- ⊠ TELEPHONE BDX
- + SPOT ELEVATION
- POWER POLE
- ⊙ WATER SERVICE
- LOT LINE
- DMCC-OCRM (MARSH CROSS LINE)
- ADJACENT LOT LINE
- X - X - FENCE
- \* PAL PALMETTO
- OAK
- LO LIVE OAK
- PN PINE

**NOTES:**

EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAN, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS THAT WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND-USE REGULATIONS, AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR. THE SURVEY SHOWN HEREON REFLECTS THE ABOVE RECORDED REFERENCES. BUILDING SETBACKS SHOULD BE VERIFIED BY THE GOVERNING BODY PRIOR TO ANY DESIGN OR CONSTRUCTION.

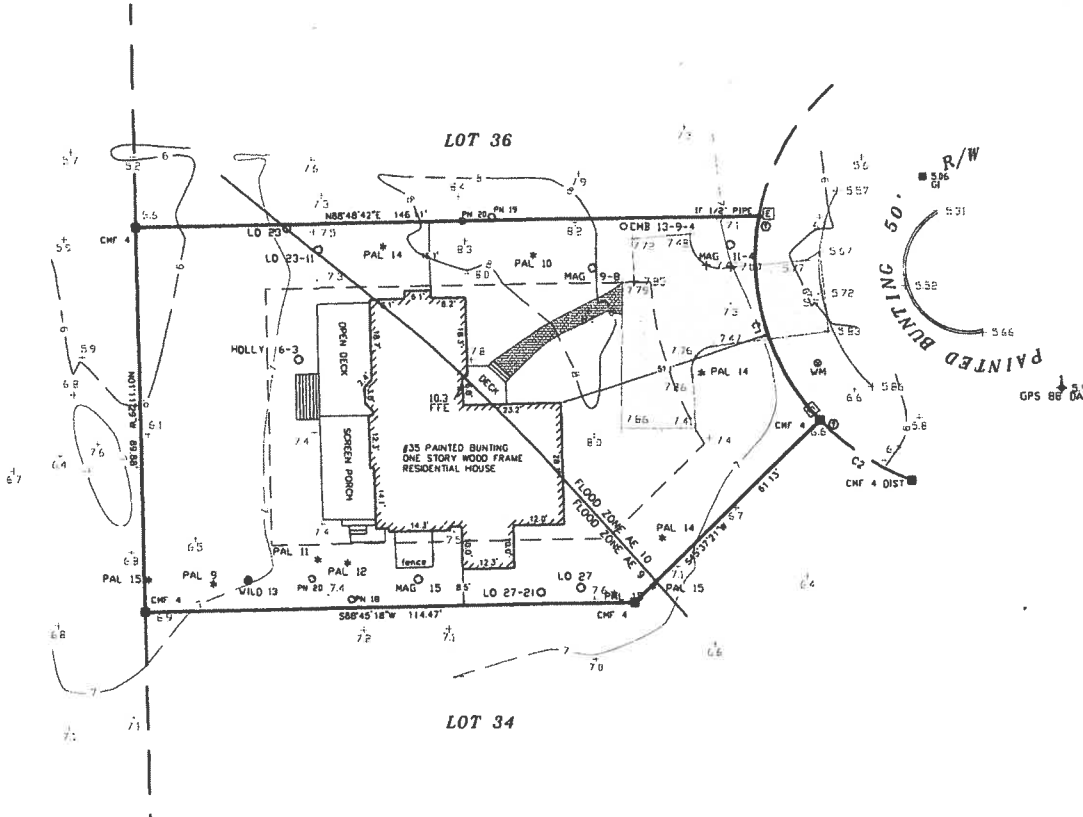
**REFERENCE:**

1) PLAT BOOK AH AT PAGE 66 SHOWING MIDDLEWOODS WEST

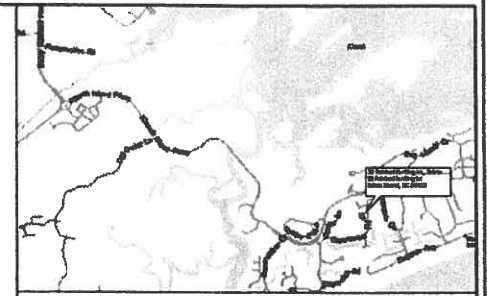
**FLOOD NOTE:**

THIS LOT IS SITUATED IN A FLOOD ZONE AE 10, AND AE 9 AS PER SCALING FROM FEMA FIRM MAP NUMBER 45019C0805K DATED REVISED JANUARY 29, 2021.

COUGAR POINT GOLF COMPANY LLC



SC GRID



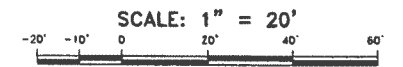
**LOCATION MAP N.T.S.**

**BRITT LAND SURVEYING, INC.**  
 P.O. BOX 80333  
 CHARLESTON, SC 29416  
 843-810-8771  
 WWW.BRITTSURVEYINGINC.COM



I, Dean L. Britt, a Registered Professional Land Surveyor in the State of South Carolina, certify to owner(s) shown herein that this survey shown herein was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a class \_\_\_ survey as specified therein.

Date: / /  
**DEAN L. BRITT PLS S.C. REG. NO. 15792**  
 SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.



**PLAT OF:**  
**TREE AND TOPOGRAPHIC SURVEY SHOWING**  
**LOT 35 TRACT 11 BLOCK 9**  
**MIDDLEWOODS (411)**  
**PREPARED FOR:**  
**John Logan**  
**LOCATED IN THE TOWN OF KIAWAH**  
**KIAWAH ISLAND**  
**CHARLESTON COUNTY - SOUTH CAROLINA**

THIS SURVEY IS THE PROPERTY OF BRITT LAND SURVEYING, INC., AND IS PROVIDED AS A SERVICE TO John Logan. THIS SURVEY IS NOT FOR THE USE OF MARKETING, NOR IS IT TRANSFERABLE / SELLABLE, AND IS ONLY INTENDED FOR THE NAME SHOWN HEREON.

LOCATION: 3S PAINTED BUNTING - 2945S  
 TAX MAP # 207-07-00-057  
 DATE: MAY 12, 2021  
 FIELD DATE: APRIL 27, 2021  
 JOB NO. 213375  
 COUNTY/STATE CHARLESTON, S.C.

**DATUM:**

THE BEARINGS SHOWN HEREON ARE SOUTH CAROLINA GRID NAD 1983 (2011) MODEL. VERTICAL DATUM IS BASED ON NAVD 1988. CONTOUR INTERVAL IS AT ONE FOOT.

| Area  | Sq. Feet | Acres | Lot Description           |
|-------|----------|-------|---------------------------|
| A2    | 137      | 0.00  | BRICK WALK                |
| A3    | 1020     | 0.02  | CONCRETE DRIVE            |
| A1    | 2770     | 0.06  | HOUSE/DECKS/PORCHES/STEPS |
| Total | 3927     | 0.09  |                           |

| Area | Sq. Feet | Acres | Lot Description |
|------|----------|-------|-----------------|
| A4   | 12842    | 0.29  | LOT 35          |

30.6% LOT COVERAGE

| CURVE | RADIUS | ARC LENGTH | CHORD LENGTH | CHORD BEARING | DELTA ANGLE |
|-------|--------|------------|--------------|---------------|-------------|
| C1    | 54.92  | 51.57      | 49.70        | S18°15'05"E   | 53°48'22"   |
| C2    | 54.92  | 25.58      | 25.35        | S56°29'51"E   | 126°41'11"  |



# 35 Painted Bunting

RENOVATION & GARAGE ADDITION

PERMIT DOCUMENTS - 16, MAY 2024



1 Front Sketch  
A-1.00

| Sheet List   |            |
|--------------|------------|
| Sheet Number | Sheet Name |

| Sheet List   |            |
|--------------|------------|
| Sheet Number | Sheet Name |

| 01 Architectural       |                               |
|------------------------|-------------------------------|
| A-1.00                 | Site                          |
| A-1.01                 | Main Level Plan               |
| A-1.02                 | Architectural Foundation Plan |
| A-2.00                 | Elevations                    |
| A-3.01                 | Building Sections             |
| A-7.00                 | Schedules                     |
| 02 Electrical          |                               |
| E-1.01                 | Electrical Plan               |
| 03 Existing Conditions |                               |
| X-1.00                 | Existing Lot Coverage         |
| X-1.01                 | Existing Plan                 |
| X-2.01                 | Existing Elevations           |

| 04 Structural |                    |
|---------------|--------------------|
| S0.1          | Structural Cover   |
| S1.1          | Foundation Plan    |
| S1.2          | Roof Framing Plan  |
| S1.3          | Structural Details |

**PROJECT DATA**

NAME OF PROJECT: 35 Painted Bunting - Renovation  
 PROJECT ADDRESS: 35 Painted Bunting, Kiawah Island, SC  
 PROPOSED USE: Single Family Residence  
 OWNER CONTACT: John Logan  
 CONTRACTOR:  
 CODE ENFORCEMENT  
 JURISDICTION: TOWN OF KIAWAH ISLAND  
 BUILDING CODE: 2021 SOUTH CAROLINA RESIDENTIAL CODE FOR ONE AND TWO FAMILY DWELLINGS

| DESIGNERS OF RECORD | FIRM            | LICENSE NO. | TELEPHONE NO.  |
|---------------------|-----------------|-------------|----------------|
| ARCHITECT           | ARCHITRAVE, LLC | B88021      | (803) 252-6636 |
| STRUCTURAL ENGINEER | ADC ENGINEERING | 00253       | (843) 566-0161 |

**BUILDING AREA SUMMARY AFTER RENOVATION**

|                           |           |
|---------------------------|-----------|
| BUILDING FOOTPRINT        | 2,593 SF  |
| SCREENED/COVERED          | 286 SF    |
| OPEN DECK/STAIRS          | 512 SF    |
| DRIVE & WALKS             | 786 SF    |
| HVAC                      | 52 SF     |
| TOTAL COVERAGE            | 4,229 SF  |
| LOT AREA                  | 12,842 SF |
| PRIMARY LOT COVERAGE      | 32.93%    |
| Pervious Brick Front Walk | 85 SF     |
| Non Primary Coverage      | 0.66%     |

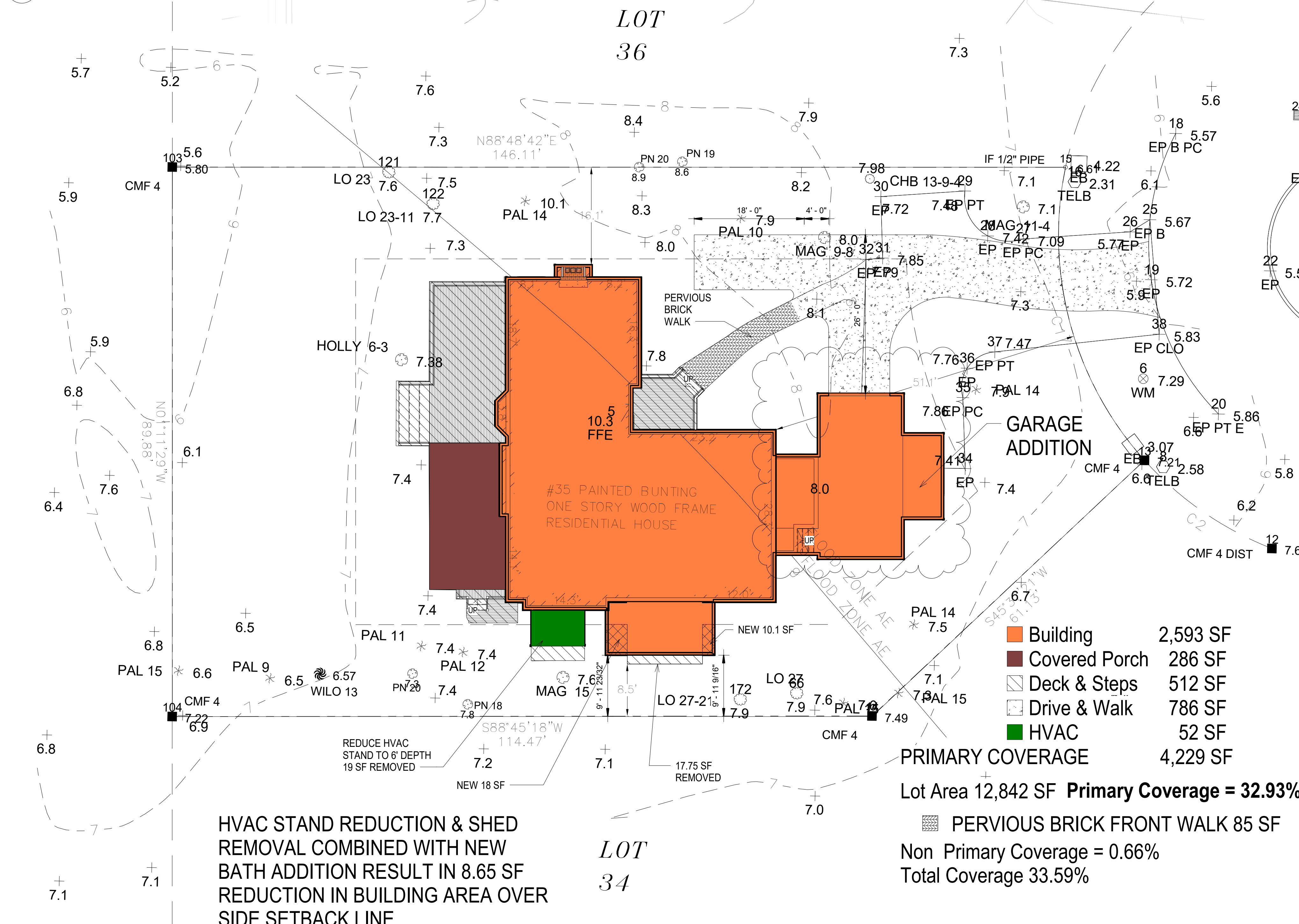
Total Coverage 33.59%

**FLOOD ELEVATION**

BASE FLOOD ELEVATION AE/9' & AE/10'

**CONSTRUCTION TYPE**

TYPE VB



2 Proposed Site Coverage  
A-1.00 1" = 10'-0"

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|             |                    |
|-------------|--------------------|
| PROJECT     | 35 Painted Bunting |
| SHEET TITLE | Site               |

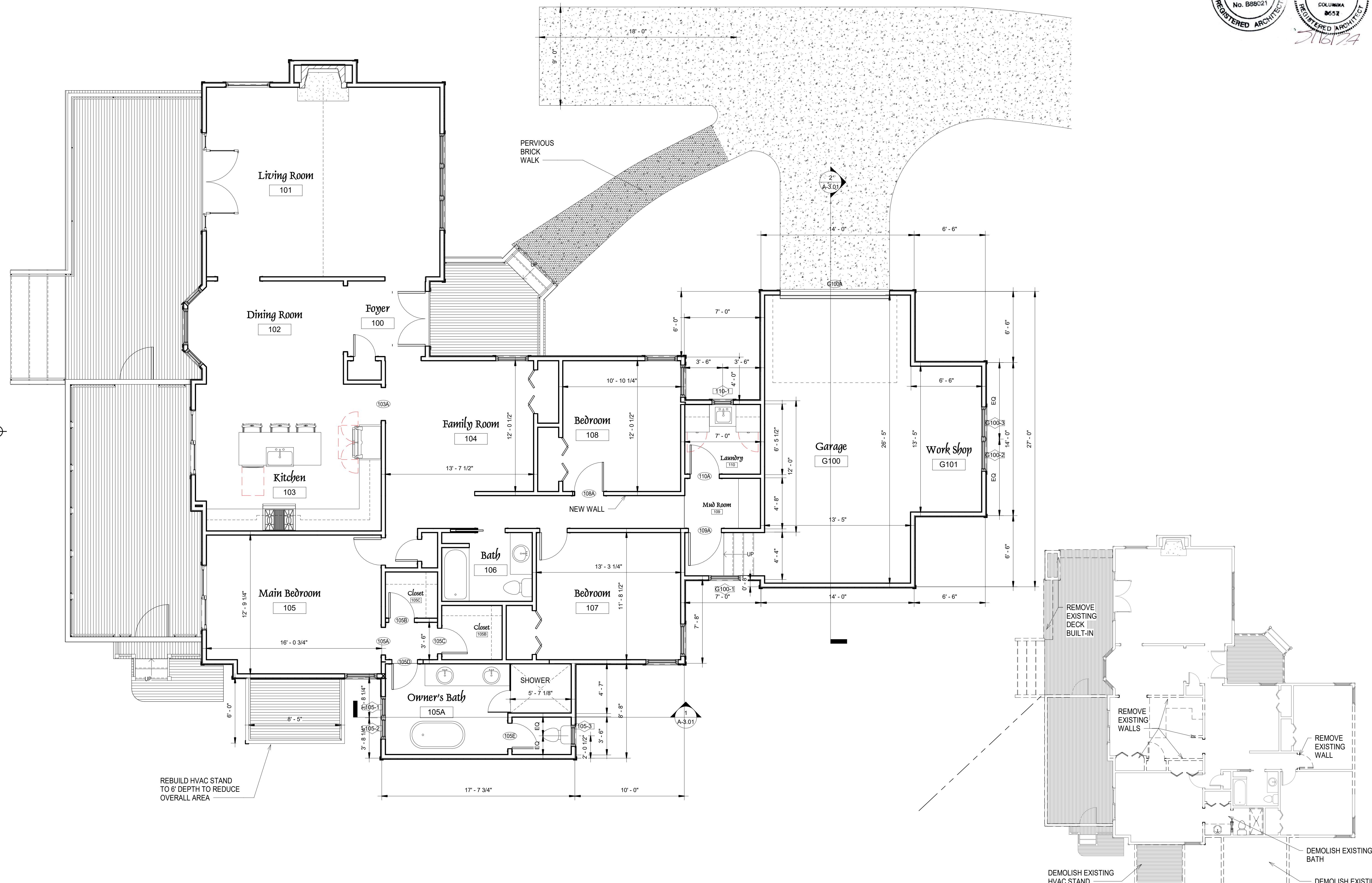
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|--------------|------------|-------------|
| 05/16/24     | Revision 1 | Revision 1  |

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 DATE: 5/16/2024 7:49:13 PM

DRAWING NO:  
**A-1.00**



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1 Proposed Main Level  
A-1.01/ 1/4" = 1'-0"

2 Demolition Main Level  
A-1.01/ 1/8" = 1'-0"

PROJECT  
35 Painted Bunting

SHEET TITLE  
Main Level Plan

| SHEET ISSUED | REVISION | DESCRIPTION |
|--------------|----------|-------------|
| 05/16/24     |          |             |

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Bunting Lot 35\05-16-24-35 Painted  
Bunting.rvt

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5/16/2024 7:49:15 PM

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**A-1.01**



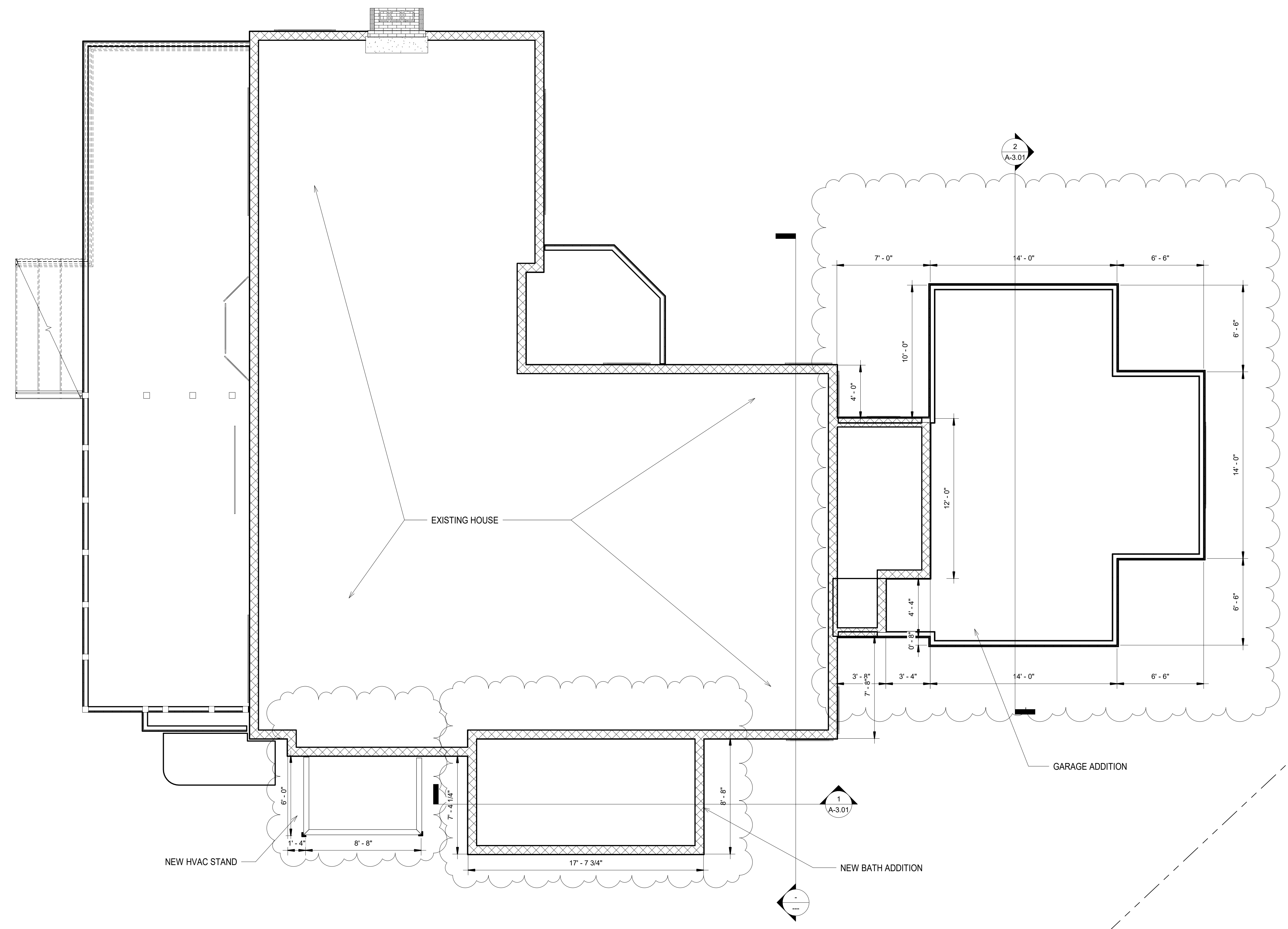
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|             |                               |
|-------------|-------------------------------|
| PROJECT     | 35 Painted Bunting            |
| SHEET TITLE | Architectural Foundation Plan |

| SHEET ISSUED | REVISION   | DESCRIPTION |
|--------------|------------|-------------|
| 05/16/24     | Revision 1 |             |
|              | Revision 1 |             |

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DATE: 5/16/2024 7:49:16 PM

DRAWING NO:  
**A-1.02**



**1** Proposed Architectural Foundation Plan  
A-1.02 1/4" = 1'-0"



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PROJECT 35 Painted Bunting  
SHEET TITLE Elevations

| REVISION | DATE     | DESCRIPTION |
|----------|----------|-------------|
|          | 05/16/24 |             |

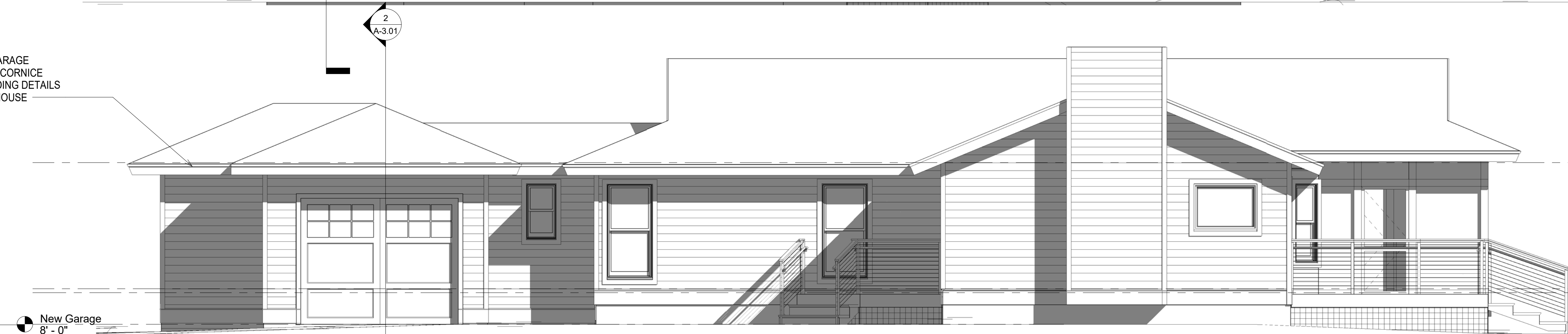
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DATE: 5/16/2024 7:49:20 PM

DRAWING NO:  
**A-2.00**



1 Proposed Front Elevation  
A-2.00 1/4" = 1'-0"

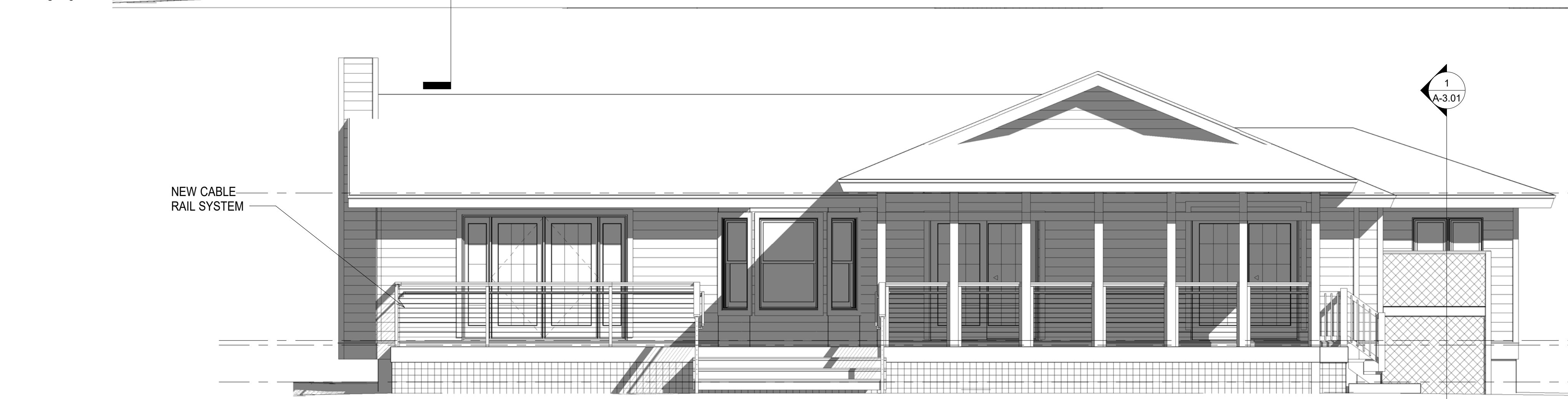
Main Level 10' - 3"  
AE/10 10' - 0"  
New Garage 8' - 0"



4 Proposed Right Elevation  
A-2.00 1/4" = 1'-0"

New Garage 8' - 0"

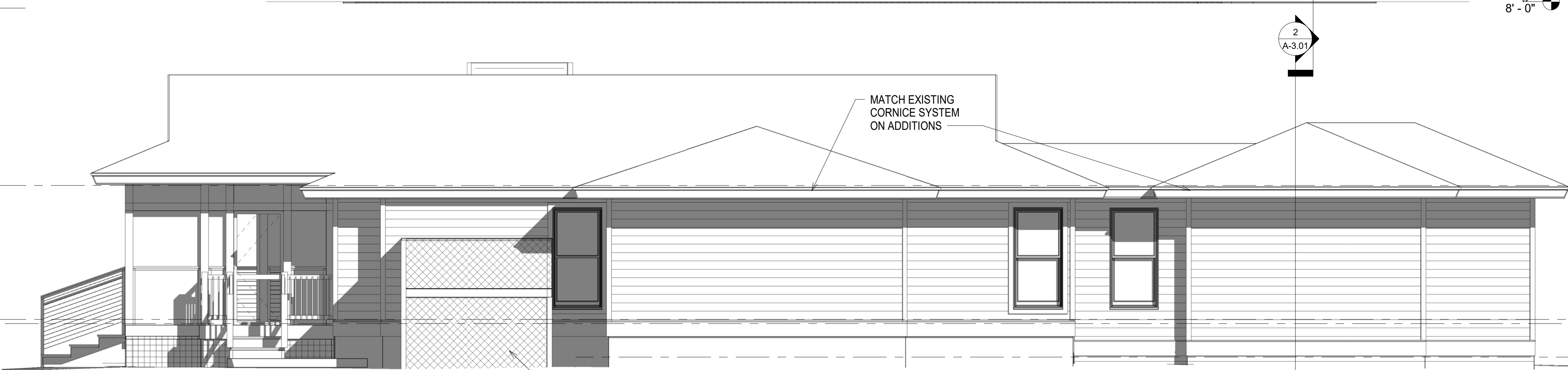
Main Level Bearing 18' - 3"  
Main Level 10' - 3"  
AE/10 10' - 0"



3 Proposed Rear Elevation  
A-2.00 1/4" = 1'-0"

NEW CABLE RAIL SYSTEM

Main Level Bearing 18' - 3"  
Main Level 10' - 3"  
AE/10 10' - 0"  
New Garage 8' - 0"



2 Proposed Left Elevation  
A-2.00 1/4" = 1'-0"

REDUCE EXISTING HVAC STAND TO 6' DEPTH

Main Level Bearing 18' - 3"  
Main Level 10' - 3"  
AE/10 10' - 0"  
New Garage 8' - 0"



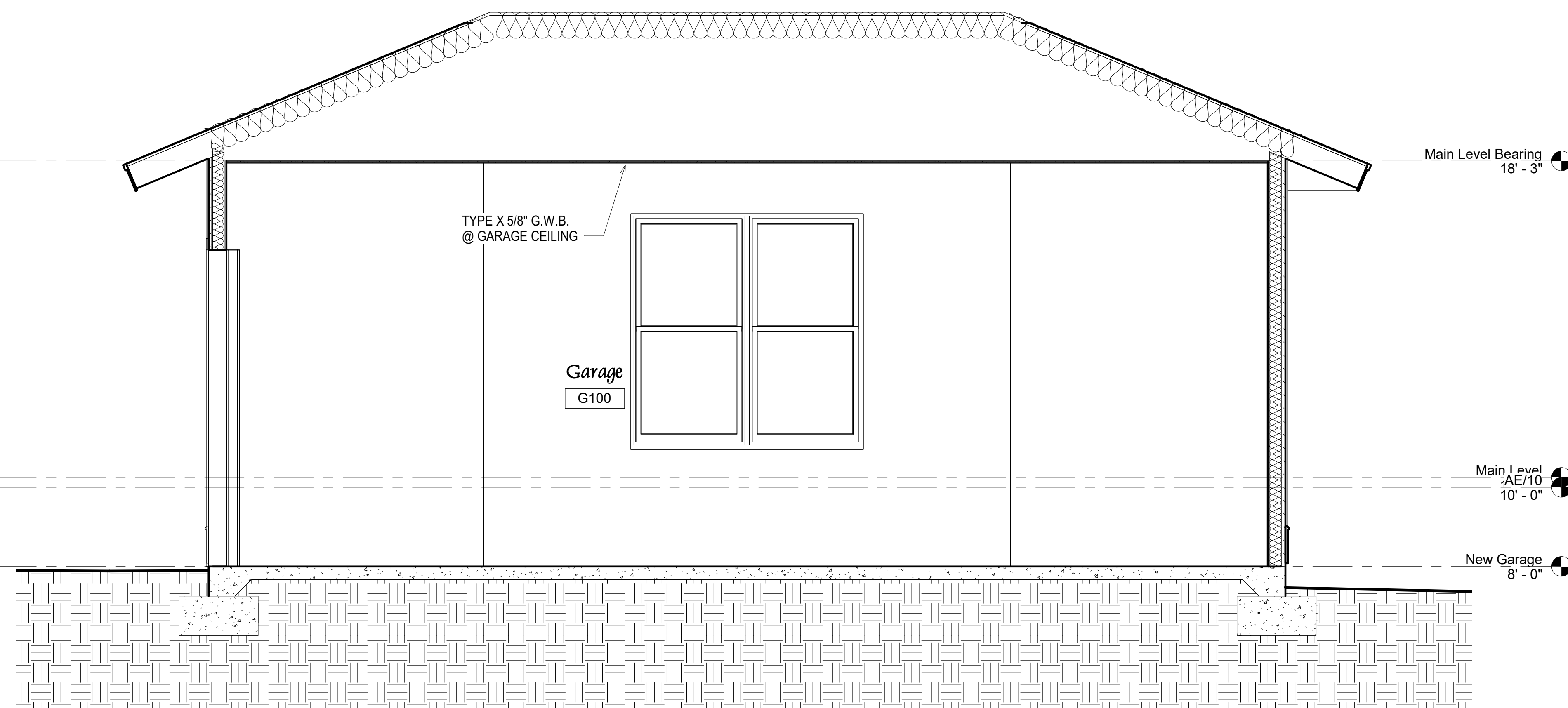
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PROJECT  
**35 Painted Bunting**  
SHEET TITLE  
**Building Sections**

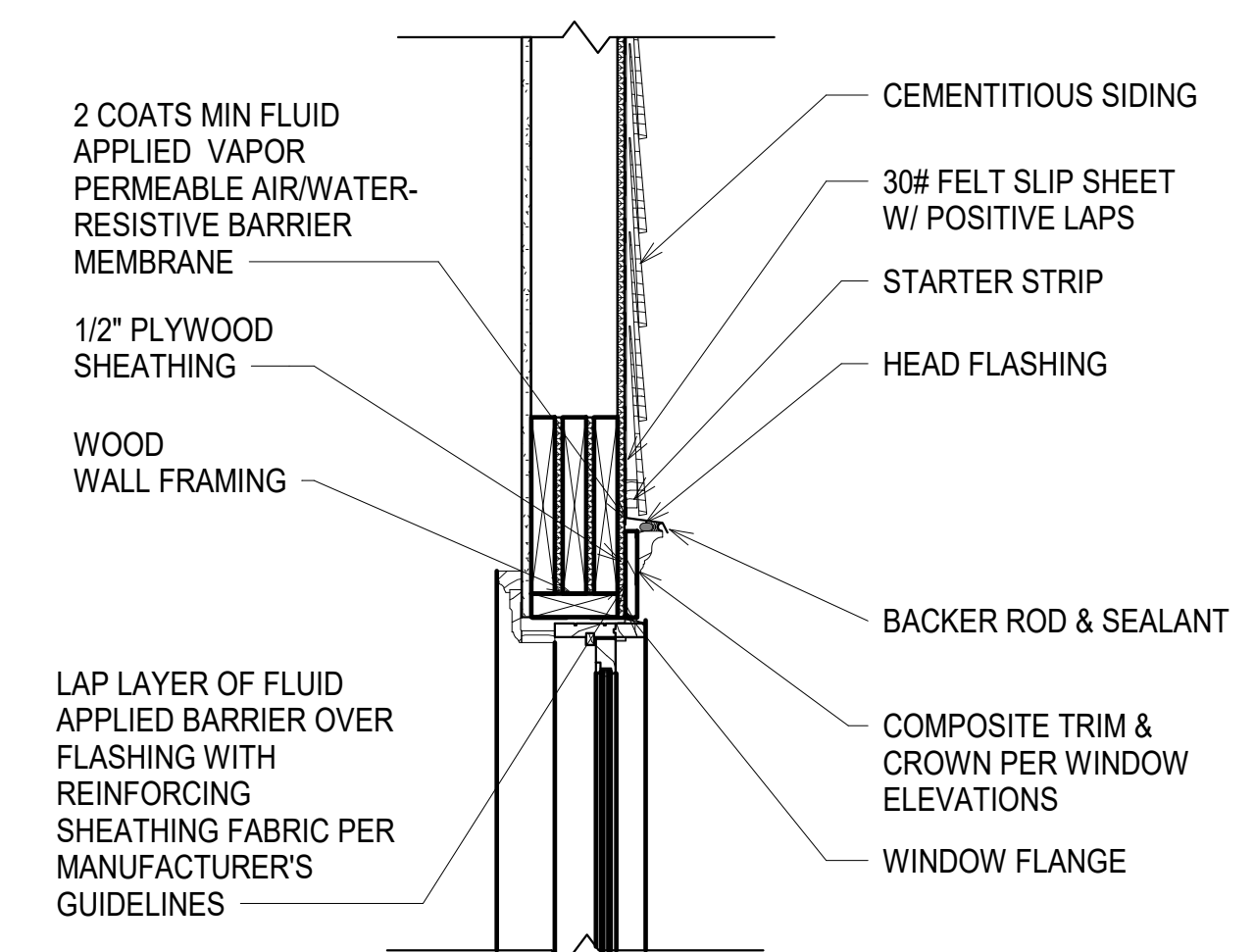
| SHEET ISSUED | REVISION | DESCRIPTION |
|--------------|----------|-------------|
| 05/16/24     |          |             |

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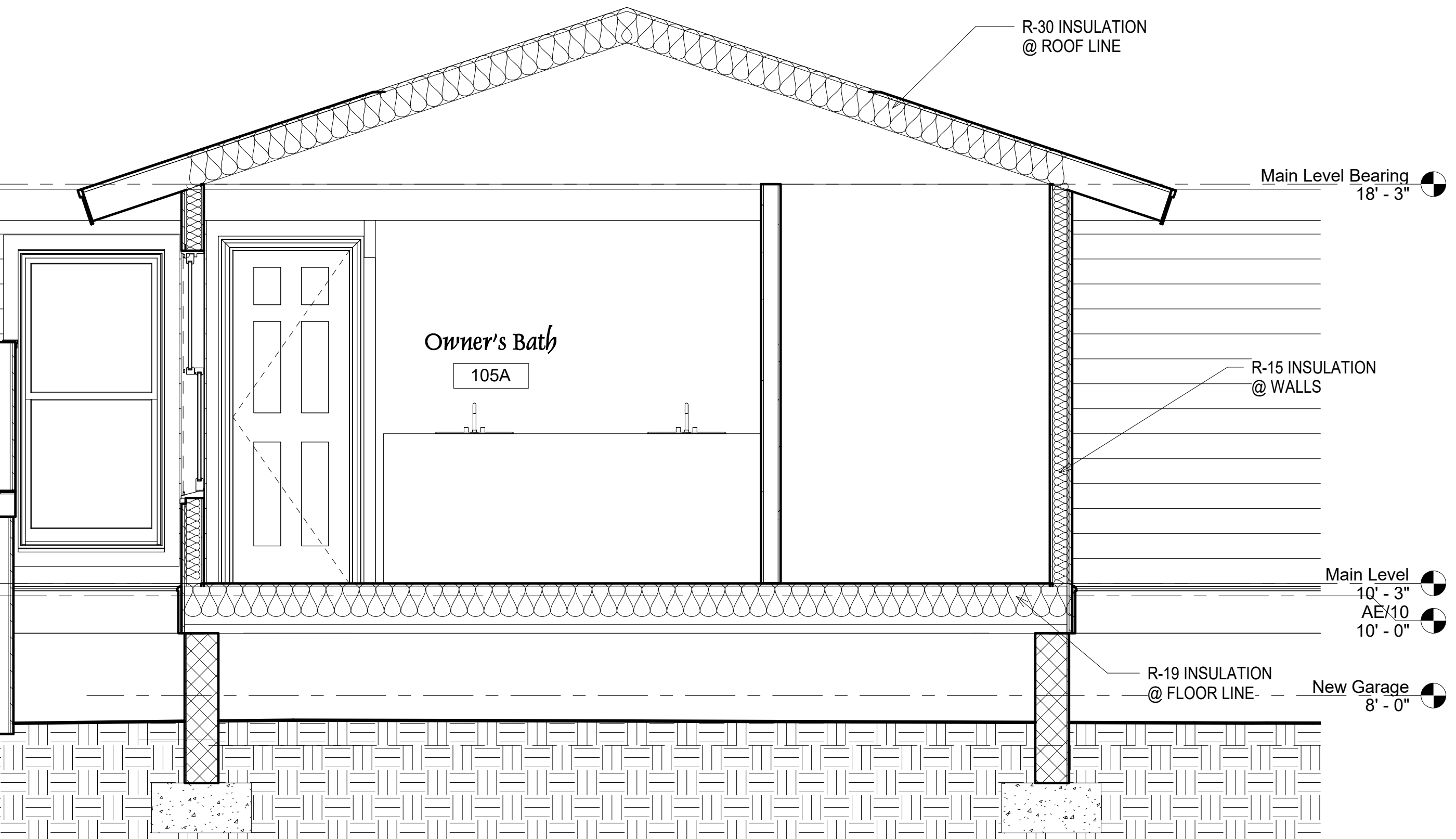
DRAWING NO:  
**A-3.01**



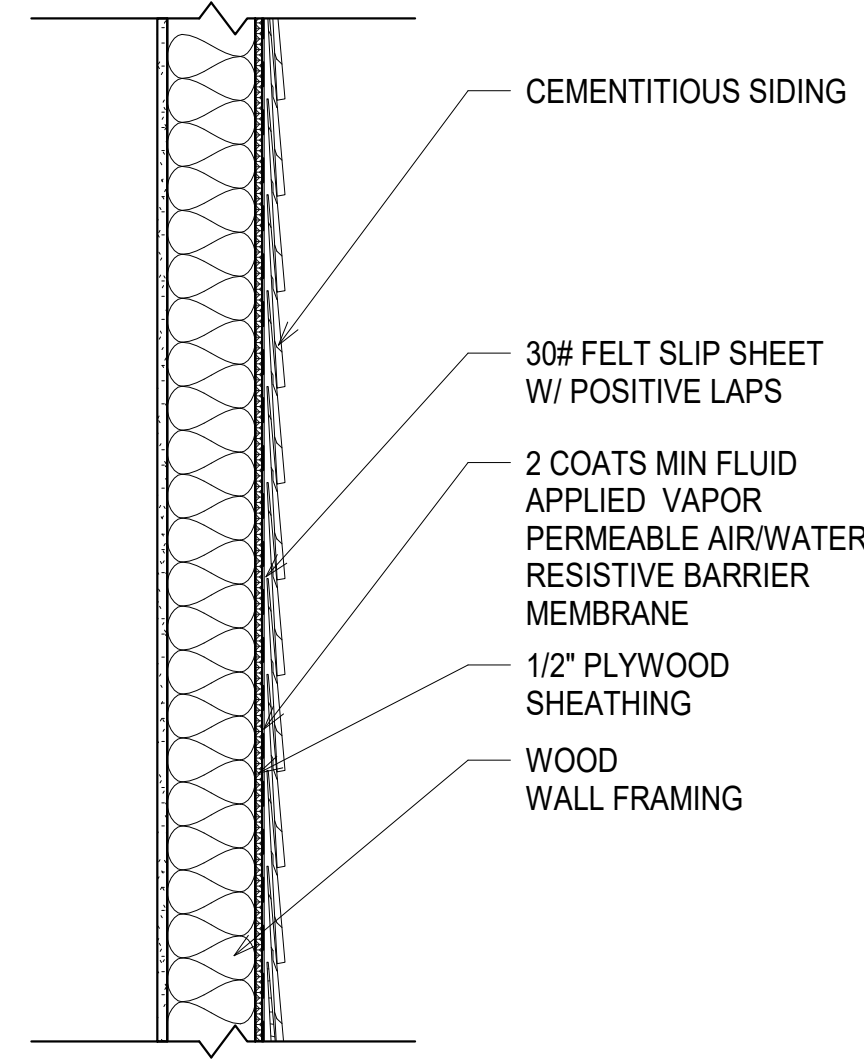
**2 Section Through New Garage**  
1/2" = 1'-0"



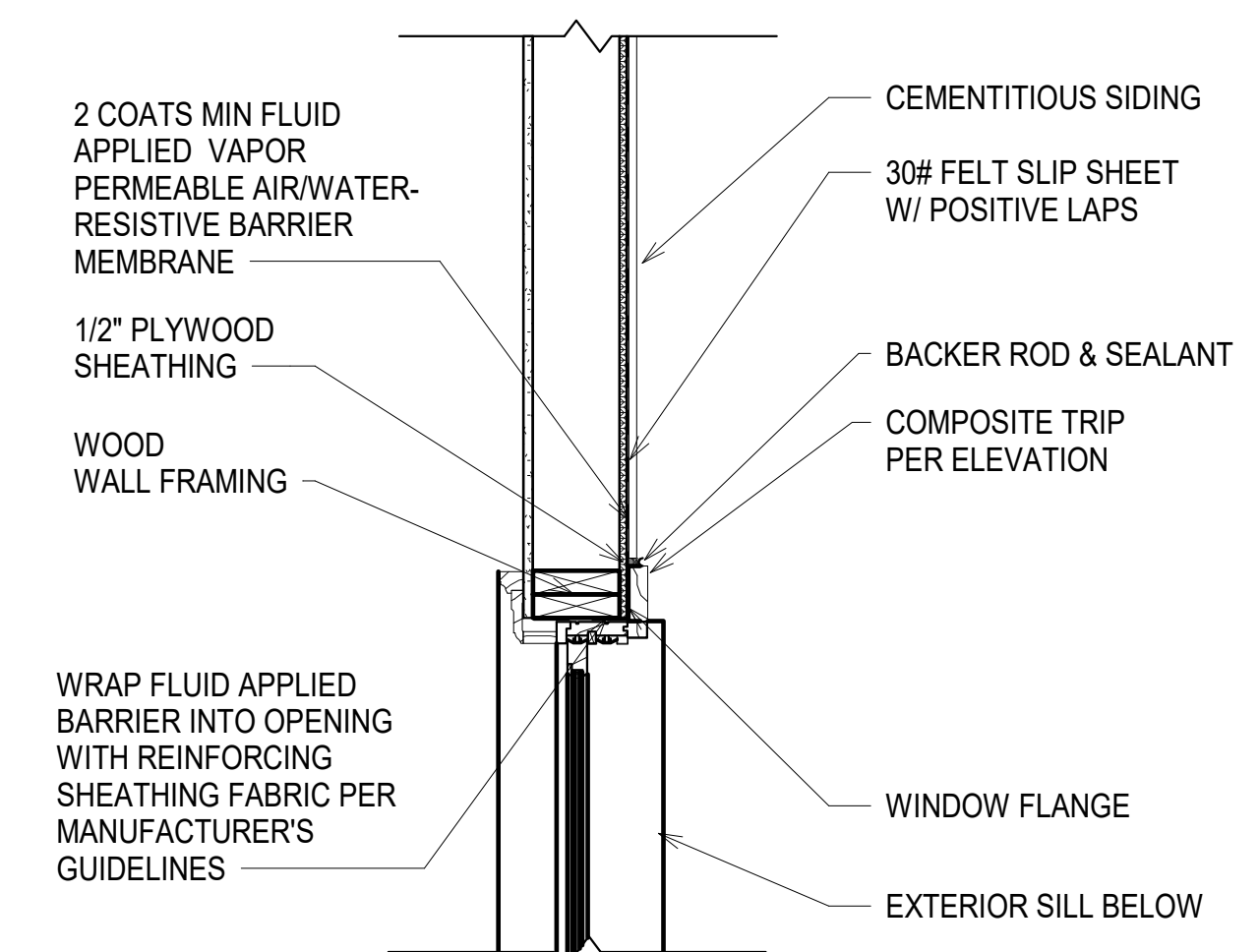
**4 Siding Wall Window Header Detail**  
1" = 1'-0"



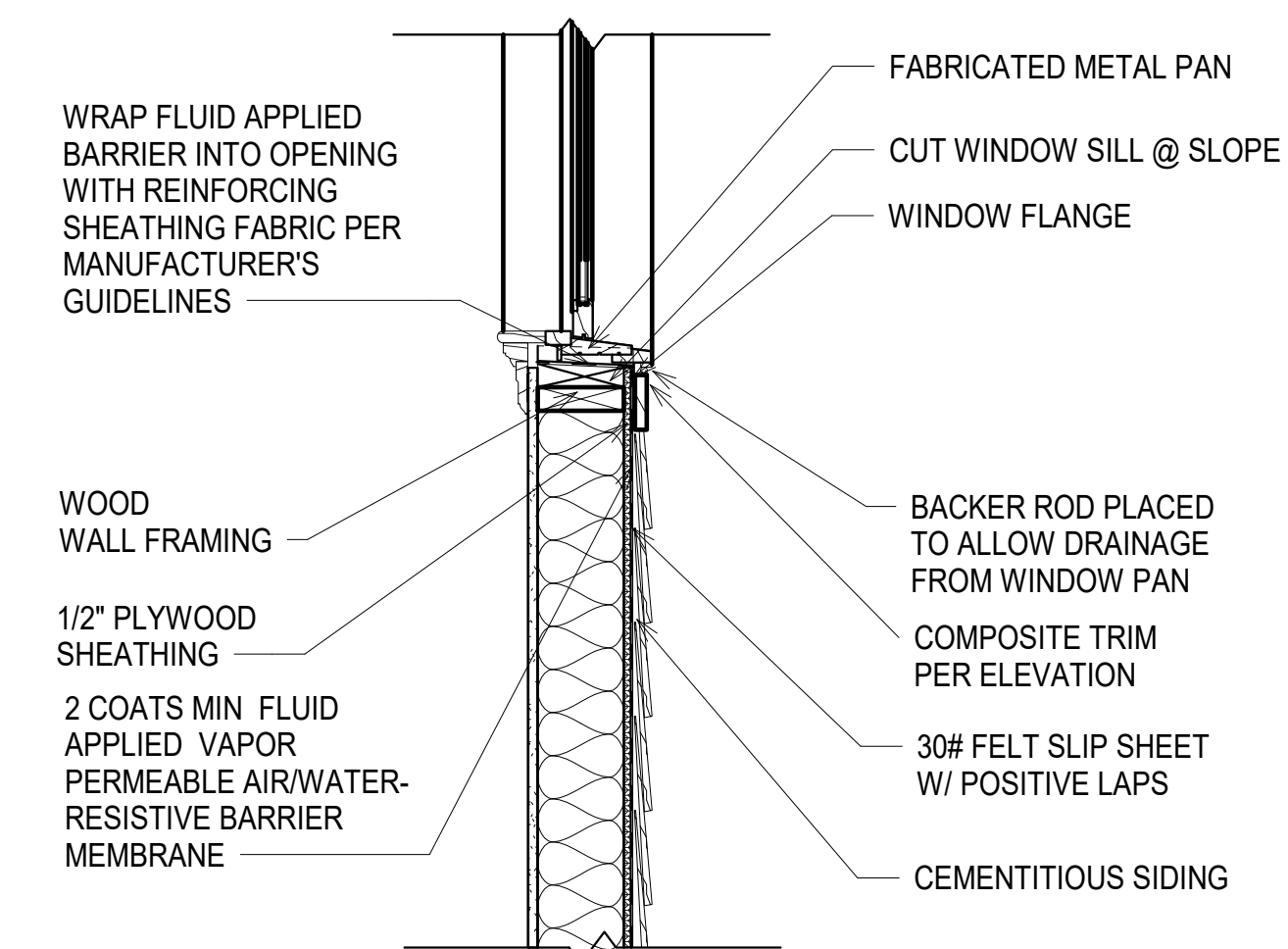
**1 Section Through New Bath**  
1/2" = 1'-0"



**3 Siding Wall Section**  
1" = 1'-0"



**5 Siding Wall Window Jamb Detail**  
1" = 1'-0"



**6 Siding Wall Window Sill Detail**  
1" = 1'-0"

| Room Schedule |              |                                |             |                |          |
|---------------|--------------|--------------------------------|-------------|----------------|----------|
| Room No.      | Name         | Floor Finish                   | Wall Finish | Ceiling Finish | Comments |
| New Garage    |              |                                |             |                |          |
| G100          | Garage       |                                |             |                |          |
| G101          | Work Shop    |                                |             |                |          |
| Main Level    |              |                                |             |                |          |
| 100           | Foyer        | Existing                       |             |                |          |
| 101           | Living Room  | Existing                       |             |                |          |
| 102           | Dining Room  | New Hardwood to Match Existing |             |                |          |
| 103           | Kitchen      | New Hardwood to Match Existing |             |                |          |
| 104           | Family Room  | Existing                       |             |                |          |
| 105           | Main Bedroom | Existing                       |             |                |          |
| 105A          | Owner's Bath | Ceramic Tile                   |             |                |          |
| 105B          | Closet       | New Hardwood to Match Existing |             |                |          |
| 105C          | Closet       | New Hardwood to Match Existing |             |                |          |
| 106           | Bath         | Existing                       |             |                |          |
| 107           | Bedroom      | Existing                       |             |                |          |
| 108           | Bedroom      | Existing                       |             |                |          |
| 109           | Mud Room     | New Hardwood to Match Existing |             |                |          |
| 110           | Laundry      | Ceramic Tile                   |             |                |          |

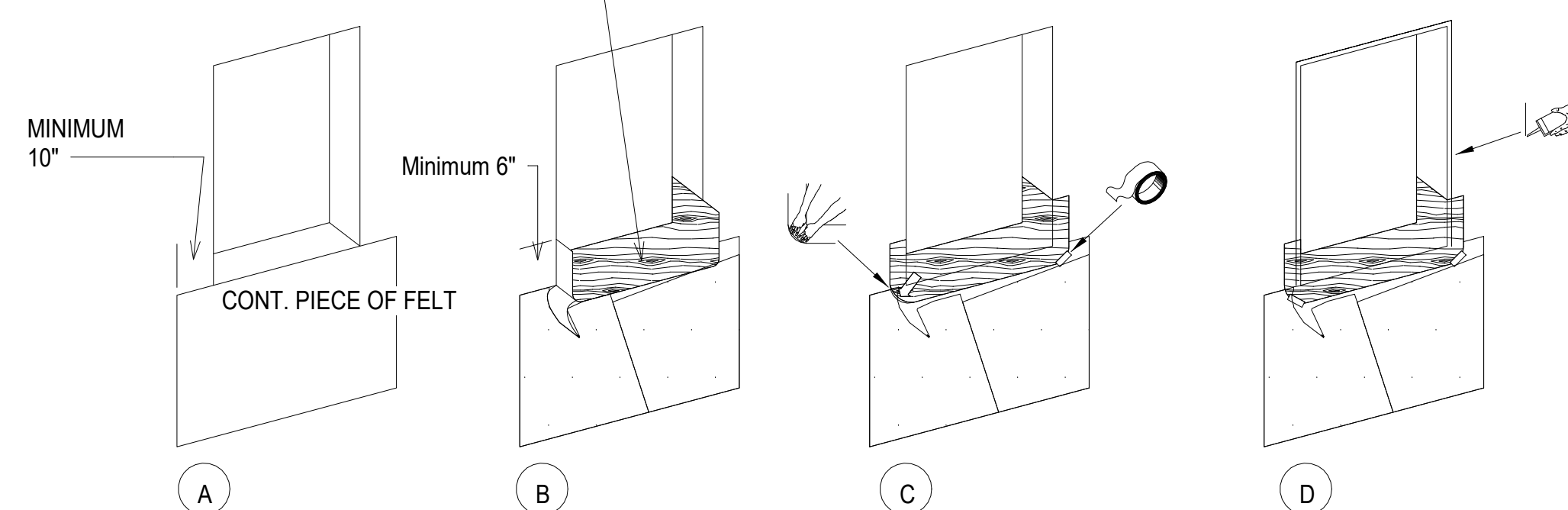
| Door Schedule    |   |          |         |             |         |
|------------------|---|----------|---------|-------------|---------|
| NO.              | Description                               | DOOR     |         |             | REMARKS |
|                  |   | W        | H       | T           |         |
| New Construction |   |          |         |             |         |
| New Garage       |   |          |         |             |         |
| G100A            | Carriage Style Overhead Door Impact Rated | 10' - 0" | 8' - 0" |             |         |
| Main Level       |   |          |         |             |         |
| 103A             | Cased Opening Trim to Match Existing      | 3' - 0"  | 6' - 8" |             |         |
| 105A             | Cased Opening Trim to Match Existing      | 2' - 6"  | 6' - 8" |             |         |
| 105B             | New Door to Match Existing                | 2' - 4"  | 6' - 8" | 0' - 1 3/4" |         |
| 105C             | New Door to Match Existing                | 2' - 4"  | 6' - 8" | 0' - 1 3/4" |         |
| 105D             | New Door to Match Existing                | 2' - 4"  | 6' - 8" | 0' - 1 3/4" |         |
| 105E             | New Door to Match Existing                | 2' - 4"  | 6' - 8" | 0' - 1 3/4" |         |
| 108A             | New Door to Match Existing                | 2' - 8"  | 6' - 8" | 0' - 1 1/2" |         |
| 109A             | New S.C. Door to Match Existing           | 3' - 0"  | 6' - 8" | 0' - 2"     |         |
| 110A             | New Door to Match Existing                | 2' - 8"  | 6' - 8" | 0' - 1 1/2" |         |

| Window Schedule  |  |              |              |          |
|------------------|--|--------------|--------------|----------|
| Mark             | Description  | Width        | Height       | Comments |
| New Construction |  |              |              |          |
| Main Level       |  |              |              |          |
| 105-1            | Clad Wood Double Hung W/ Low E , Insulated, Impact Glazing | 1' - 11 1/4" | 4' - 11 1/2" |          |
| 105-2            | Clad Wood Double Hung W/ Low E , Insulated, Impact Glazing | 1' - 11 1/4" | 4' - 11 1/2" |          |
| 105-3            | Clad Wood Double Hung W/ Low E , Insulated, Impact Glazing | 1' - 11 1/4" | 4' - 11 1/2" |          |
| 110-1            | Clad Wood Double Hung W/ Low E , Insulated, Impact Glazing | 1' - 11 1/4" | 3' - 6"      |          |
| G100-1           | Clad Wood Double Hung W/ Low E , Insulated, Impact Glazing | 2' - 11 1/4" | 5' - 11 1/2" |          |
| G100-2           | Clad Wood Double Hung W/ Low E , Insulated, Impact Glazing | 2' - 11 1/4" | 5' - 11 1/2" |          |
| G100-3           | Clad Wood Double Hung W/ Low E , Insulated, Impact Glazing | 2' - 11 1/4" | 5' - 11 1/2" |          |

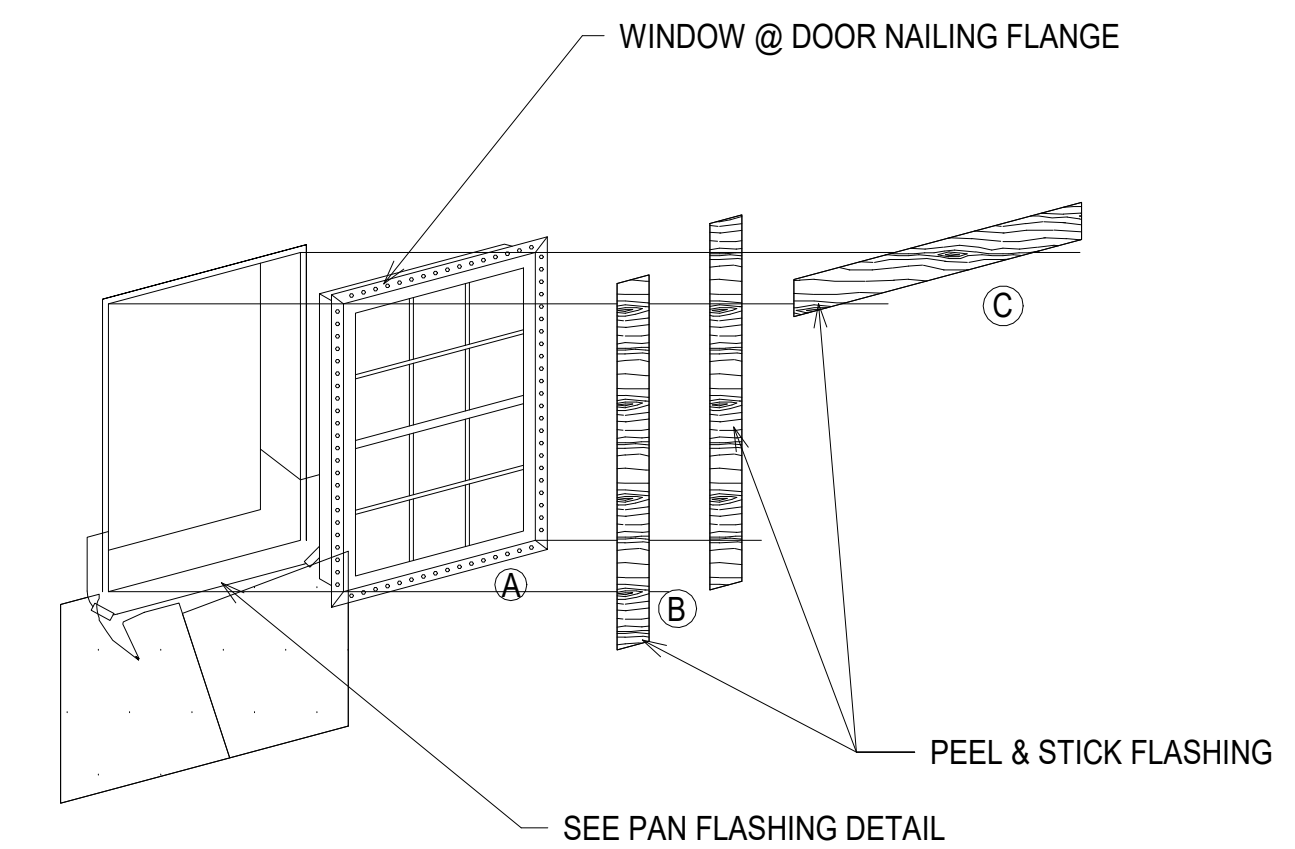
GLAZING NOTE: FOLLOW ALL PROVISIONS OF SECTION R308 OF THE 2021 SOUTH CAROLINA RESIDENTIAL CODE PROVIDE SAFETY GLAZING COMPLIANT WITH SCRC 2021 TABLE 308.3 FOR:

- GLAZING IN SWINGING DOORS
- GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND BIFOLD DOOR ASSEMBLIES
- GLAZING IN STORM DOORS
- GLAZING IN ALL UNFRAMED SWINGING DOORS.
- GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, AND TUBS AND ALL GLAZING IN WALLS ENCLOSING THESE ELEMENTS WHERE THE BOTTOM EXPOSED EDGE IS 60" OR LESS ABOVE THE STANDING OR WALKING SURFACE.
- GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
- GLAZING IN A FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS.
  - INDIVIDUAL PANE LARGER THAN 9 SQUARE FEET
  - BOTTOM EDGE LESS THAN 18" ABOVE FLOOR
  - TOP EDGE MORE THAN 36" ABOVE THE FLOOR
  - ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
- ALL GLAZING IN RAILINGS
- GLAZING IN WALLS OR FENCES ENCLOSING POOLS, SPAS, TUBS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE FLOOR.
- GLAZING ADJACENT TO STAIRS, LANDINGS, AND RAMPS WHERE THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 36" ABOVE THE ADJACENT WALKING SURFACE.
- GLAZING ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 36" ABOVE THE NOSE OF THE TREAD.

UTILIZE BITUTHENE IMPREGNATED FLASHING MEMBRANE TO CREATE PAN @ BASE OF ALL FRAMED OPENINGS



2 Pan Flashing Detail  
A-7.00/ N.T.S.



3 Wrap Flashing Details  
A-7.00/ N.T.S.



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|             |                    |
|-------------|--------------------|
| PROJECT     | 35 Painted Bunting |
| SHEET TITLE | Schedules          |

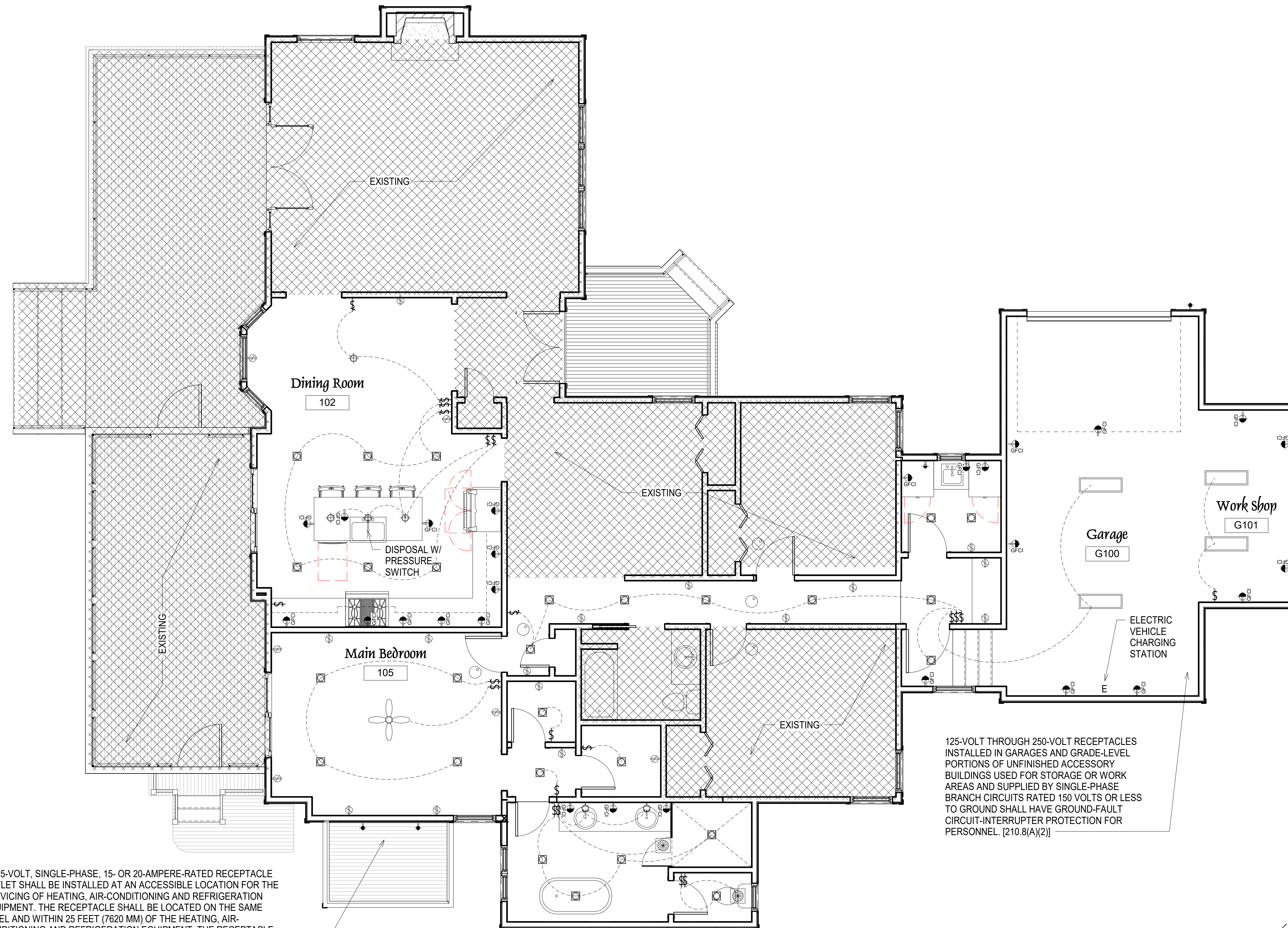
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|--------------|----------|
| SHEET ISSUED | 05/16/24 |
| REVISED      |          |
| DESCRIPTION  |          |

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**A-7.00**



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A 125-VOLT, SINGLE-PHASE, 15- OR 20-AMPERE-RATED RECEPTACLE OUTLET SHALL BE INSTALLED AT AN ACCESSIBLE LOCATION FOR THE SERVICING OF HEATING, AIR-CONDITIONING AND REFRIGERATION EQUIPMENT. THE RECEPTACLE SHALL BE LOCATED ON THE SAME LEVEL AND WITHIN 25 FEET (7620 MM) OF THE HEATING, AIR-CONDITIONING AND REFRIGERATION EQUIPMENT. THE RECEPTACLE OUTLET SHALL NOT BE CONNECTED TO THE LOAD SIDE OF THE HVAC EQUIPMENT DISCONNECTING MEANS. (210.63)

RECEPTACLES SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION. [210.8(E)]

125-VOLT THROUGH 250-VOLT RECEPTACLES INSTALLED IN GARAGES AND GRADE-LEVEL PORTIONS OF UNFINISHED ACCESSORY BUILDINGS USED FOR STORAGE OR WORK AREAS AND SUPPLIED BY SINGLE-PHASE BRANCH CIRCUITS RATED 150 VOLTS OR LESS TO GROUND SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL. [210.8(A)(2)]

| ELECTRICAL LEGEND |                            |
|-------------------|----------------------------|
|                   | DUPLEX                     |
|                   | SPLIT WIRED DUPLEX         |
|                   | SPCL OR 220 V OUTLET       |
|                   | EXT WATERPROOF OUTLET      |
|                   | FLOOR MOUNTED OUTLET       |
|                   | ARC FAULT OUTLET           |
|                   | GFCI OUTLET                |
|                   | ROCKER ARM SWITCH          |
|                   | 3WAY OR 4WAY               |
|                   | SPECIAL SWITCH             |
|                   | DIMMER WITH ON/OFF         |
|                   | SURFACE OR CEILING MOUNT   |
|                   | WALL MOUNTED LIGHT FIXTURE |
|                   | RECESSED STAIR LIGHT       |
|                   | RECESSED CAN LIGHT         |
|                   | UNDER CABINET LIGHTING     |
|                   | FAN BOX                    |
|                   | TRACK LIGHTING             |
|                   | VENTILATION FAN            |
|                   | SMOKE & CO2 DETECTOR       |
|                   | FUSE BOX                   |
|                   | METER BOX                  |
|                   | MULTIMEDIA CONNECTION      |
|                   | LED LIGHT FIXTURE          |
|                   | CEILING FAN                |

Branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sunrooms, recreation rooms, closets, hallways, laundry areas and similar rooms or areas shall be protected in accordance with: Section E3902.20 of the SC Residential Code.

Section E4002.14 of the 2021 SC Residential Code requires Tamper-resistant receptacles. 15- and 20-ampere, 125- and 250-volt nonlocking-type receptacles shall be listed tamper-resistant receptacles.

**1** Proposed Electrical Plan  
E-1.01 1/4" = 1'-0"

PROJECT  
**35 Painted Bunting**  
SHEET TITLE  
**Electrical Plan**

| SHEET ISSUED | REVISION | DESCRIPTION |
|--------------|----------|-------------|
| 05/16/24     |          |             |

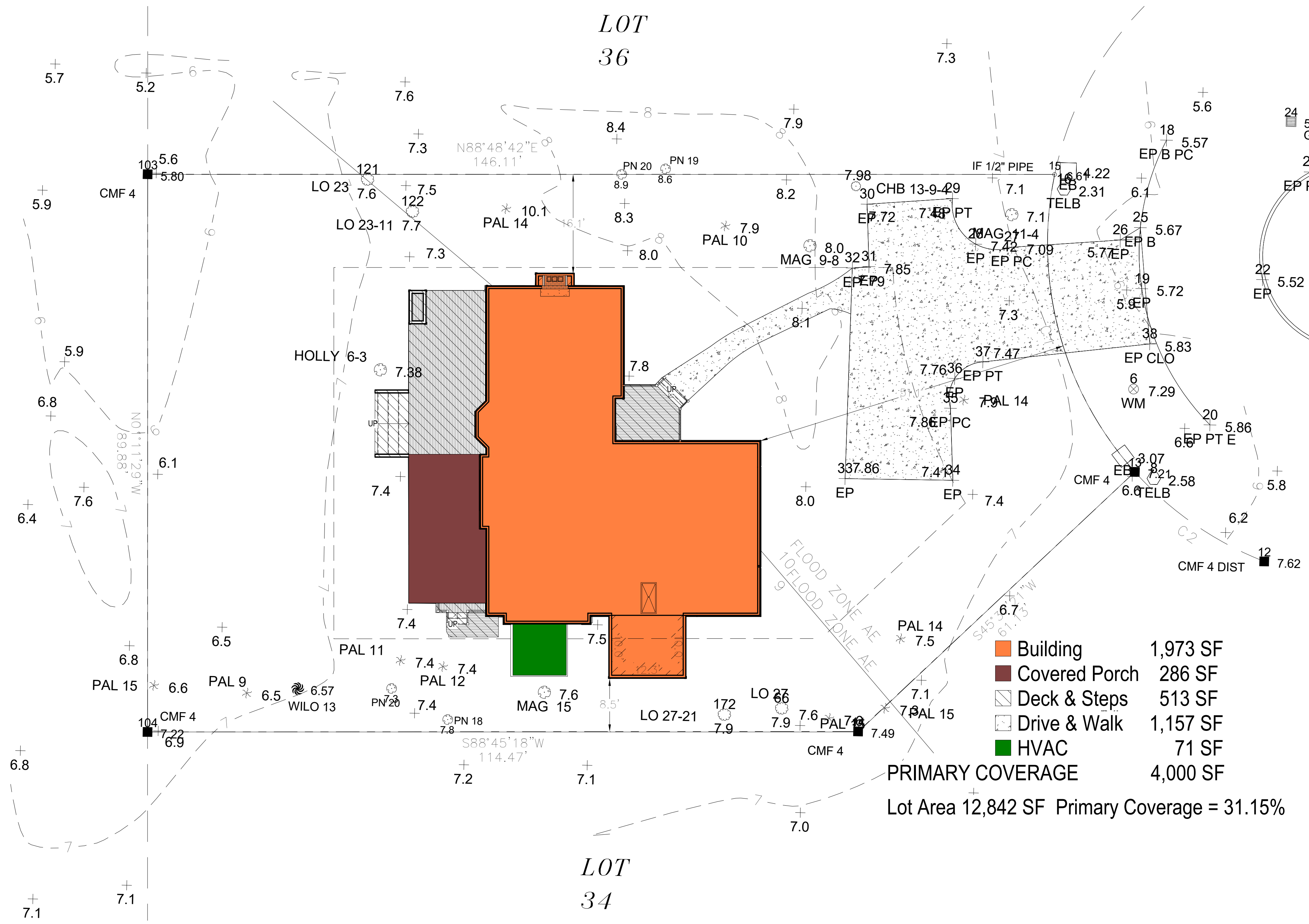
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**E-1.01**

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- Building 1,973 SF
- Covered Porch 286 SF
- Deck & Steps 513 SF
- Drive & Walk 1,157 SF
- HVAC 71 SF

PRIMARY COVERAGE 4,000 SF  
Lot Area 12,842 SF Primary Coverage = 31.15%

1 Existing Site Coverage  
X-1.00 1" = 10'-0"

|                                      |
|--------------------------------------|
| PROJECT<br>35 Painted Bunting        |
| SHEET TITLE<br>Existing Lot Coverage |

| SHEET ISSUED | REVISION | DESCRIPTION |
|--------------|----------|-------------|
| 05/16/24     |          |             |

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Author  
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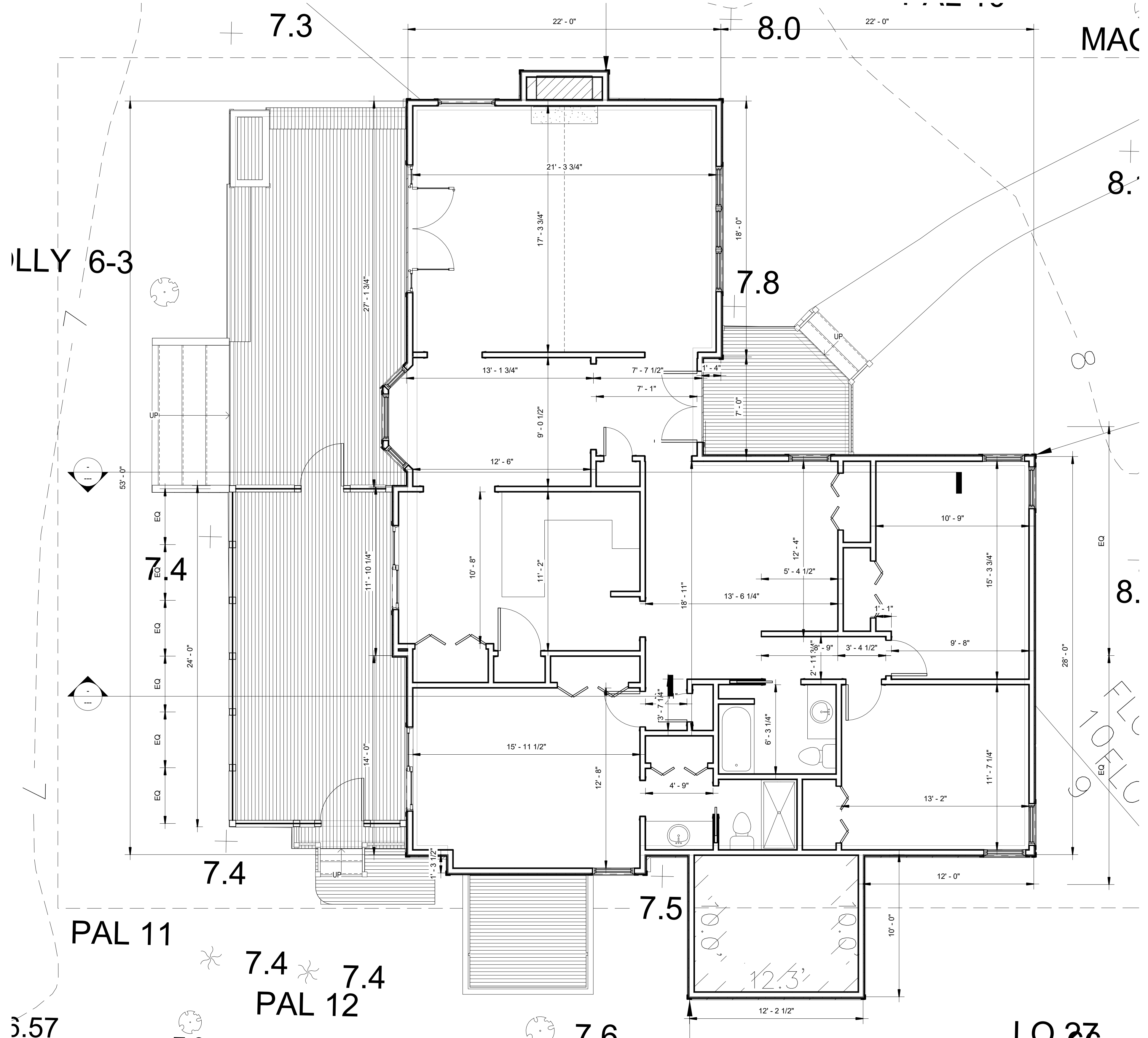
DRAWING NO:  
**X-1.00**



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PROJECT  
**35 Painted Bunting**  
 SHEET TITLE  
**Existing Elevations**

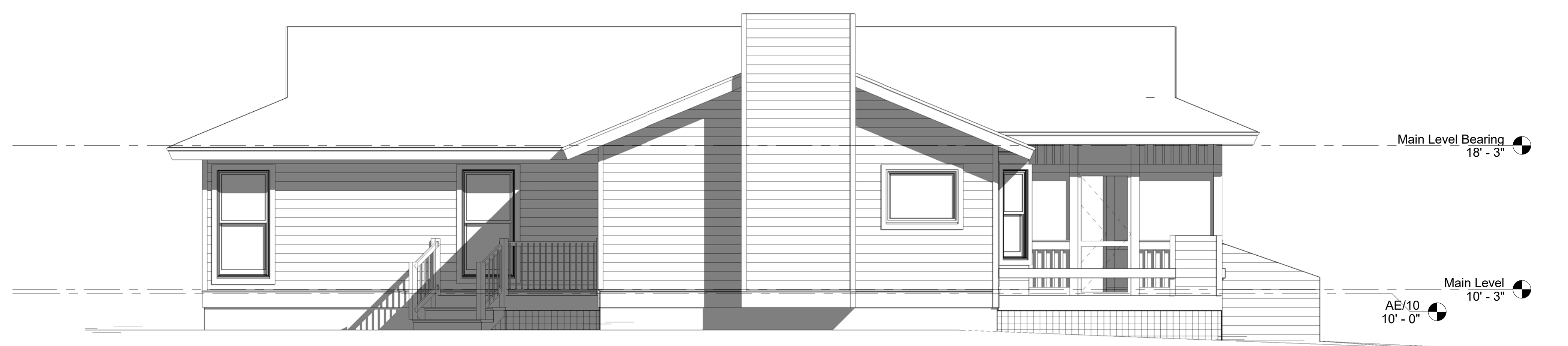
| SHEET ISSUED | REVISION | DESCRIPTION |
|--------------|----------|-------------|
| 05/16/24     |          |             |

Z:\DRAWING FILES M-PPainted Bunting Lot 35\05-16-24-35 Painted Bunting.rvt  
 DRAWN  
 B.M.  
 DATE:  
 5/16/2024 7:49:27 PM

DRAWING NO:  
**X-2.01**



1 Existing Front Elevation  
 X-2.01 1/4" = 1'-0"



2 Existing Right Elevation  
 X-2.01 1/4" = 1'-0"



3 Existing Rear Elevation  
 X-2.01 1/4" = 1'-0"



4 Existing Left Elevation  
 X-2.01 1/4" = 1'-0"

**ABBREVIATIONS:**

|        |  |       |                          |
|--------|--|-------|--------------------------|
| AB     | ANCHOR BOLT                              | LB    | POUND                    |
| ADJ    | ADJACENT                                 | LG    | LONG                     |
| AESS   | ARCHITECTURALLY EXPOSED STRUCTURAL STEEL |       | LIVE LOAD                |
| AFF    | ABOVE FINISHED FLOOR                     | LLBS  | LONG LEG BACK TO BACK    |
| AHU    | AIR HANDLING UNIT                        | LLH   | LONG LEG HORIZONTAL      |
| ALUM   | ALUMINUM                                 | LLV   | LONG LEG VERTICAL        |
| ALT    | ALTERNATE                                | LONG  | LONGITUDINAL             |
| APPD   | APPROVED                                 | LSL   | LONG SLOTTED HOLES       |
| APPROX | APPROXIMATE                              | LT    | LIGHT                    |
| ARCH   | ARCHITECT                                | LTWT  | LIGHTWEIGHT              |
|        |  |       |                          |
| B/     | BOTTOM OF                                | MAS   | MASONRY                  |
| BLDG   | BUILDING                                 | MAX   | MAXIMUM                  |
| BM     | BEAM                                     | MECH  | MECHANICAL               |
| BOT    | BOTTOM                                   | MEZZ  | MEZZANINE                |
| BRDG   | BRIDGING                                 | MFR   | MANUFACTURER             |
| BRG    | BEARING                                  | MID   | MIDDLE                   |
| BLK    | BLOCK                                    | MIN   | MINIMUM                  |
| BTWN   | BETWEEN                                  | MISC  | MISCELLANEOUS            |
|        |  | MJ    | MASONRY JOINT            |
|        |  | MO    | MASONRY OPENING          |
| CANT   | CANTILEVER                               |       |                          |
| C/C    | CENTER TO CENTER                         | N     | NORTH                    |
| CHAM   | CHAMFER                                  | NIC   | NOT IN CONTRACT          |
| CIRC   | CIRCULAR                                 | NO    | NUMBER                   |
| CJ     | CONTROL JOINT                            | NOM   | NOMINAL                  |
| CLR    | CLEAR                                    | NS    | NEAR SIDE                |
| CMU    | CONCRETE MASONRY UNITS                   | NTS   | NOT TO SCALE             |
| COL    | COLUMN                                   |       |                          |
| CONC   | CONCRETE                                 | O/O   | OUT TO OUT               |
| CONN   | CONNECTION                               | OC    | ON CENTER                |
| CONST  | CONSTRUCTION                             | OD    | OUTSIDE DIAMETER         |
| CONT   | CONTINUOUS                               | OF    | OUTSIDE FACE             |
| CONTR  | CONTRACTOR                               | OPNG  | OPENING                  |
| COORD  | COORDINATE                               | OPP   | OPPOSITE                 |
| CTRD   | CENTERED                                 | OW    | OPEN WEB                 |
|        |  |       |                          |
| D      | DEPTH                                    | PAF   | POWDER ACTUATED FASTENER |
| DBE    | DECK BEARING ELEVATION                   | PL    | PLATE                    |
| DBL    | DOUBLE                                   | PLF   | POUNDS PER LINEAL FOOT   |
| DET    | DETAIL                                   | PROJ  | PROJECTION               |
| DIA    | DIAMETER                                 | PSF   | POUNDS PER SQUARE FOOT   |
| DIAG   | DIAGONAL                                 | PSI   | POUNDS PER SQUARE INCH   |
| DIM    | DIMENSION                                | PT    | PRESSURE TREATED         |
| DL     | DEAD LOAD                                |       |                          |
| DWGS   | DRAWINGS                                 |       |                          |
|        |  |       |                          |
| E      | EAST                                     | RAD   | RADIUS                   |
| EA     | EACH                                     | REF   | REFERENCE                |
| EB     | EXPANSION BOLT                           | REINF | REINFORCEMENT            |
| EF     | EACH FACE                                | RET   | RETURN                   |
| EL     | EXPANSION JOINT                          | REV   | REVISION                 |
| ELV    | ELEVATION                                | RP    | RADIUS POINT             |
| ELEV   | ELEVATOR                                 | RT    | RIGHT                    |
| EMBED  | EMBEDMENT                                | RTU   | ROOF TOP UNIT            |
| ENGR   | ENGINEER                                 |       |                          |
| EOS    | EDGE OF SLAB                             | S     | SOUTH                    |
| EQ     | EQUAL                                    | SA    | SLEEVE ANCHOR            |
| EQUIP  | EQUIPMENT                                | SB    | SLAB BOLSTER             |
| EQUIV  | EQUIVALENT                               | SCHED | SCHEDULE                 |
| ES     | EACH SIDE                                | SECT  | SECTION                  |
| EW     | EACH WAY                                 | SF-   | STEP FOOTING             |
| EXP    | EXPANSION                                | SIM   | SIMILAR                  |
| EXIST  | EXISTING                                 | SPEC  | SPECIFICATIONS           |
| EXT    | EXTERIOR                                 | SP    | SPACING ES               |
|        |  | SQ    | SQUARE                   |
| FC     | FILLED CELL                              | SSL   | SHORT SLOTTED HOLES      |
| FF     | FINISHED FLOOR                           | SS    | STAINLESS STEEL          |
| FIN    | FINISH                                   | STD   | STANDARD                 |
| FLR    | FLOOR                                    | STIFF | STIFFENERS               |
| FDN    | FOUNDATION                               | STL   | STEEL                    |
| FRMG   | FRAMING                                  | SYMM  | SYMMETRICAL              |
| FT     | FEET                                     |       |                          |
| FTG    | FOOTING                                  | T/    | TOP OF                   |
| FV     | FIELD VERIFY                             | TB    | TIE BEAM                 |
|        |  | TC    | TIE COLUMN               |
| GALV   | GALVANIZED                               | TCX   | TOP CHORD EXTENSION      |
| GA     | GROUPE                                   | T&B   | TOP AND BOTTOM           |
|        |  | TEMP  | TEMPORARY                |
| HORIZ  | HORIZONTAL                               | TRAN  | TRANSVERSE               |
| HSA    | HEADED STUD ANCHOR                       | TS    | TUBE STEEL               |
| HSB    | HIGH STRENGTH BOLT                       | TYP   | TYPICAL                  |
| HT     | HEIGHT                                   | UNO   | UNLESS NOTED OTHERWISE   |
|        |  | VERT  | VERTICAL                 |
| ID     | INSIDE DIAMETER                          |       |                          |
| IF     | INSIDE FACE                              | W     | WEST                     |
| IN     | INCH                                     | W/    | WITH                     |
| INCL   | INCLUDE, ING                             | W/O   | WITHOUT                  |
| INT    | INTERIOR                                 | WP    | WORK POINT               |
|        |  | WT    | WEIGHT                   |
| JBE    | JOIST BEARING ELEVATION                  | WWM   | WELDED WIRE MESH         |

**ROUGH CARPENTRY**

- ALL ROUGH CARPENTRY SHALL CONFORM TO SPECIFICATION IBC2018 & NDS 2018
- ALL PILES OF MULTI-PLY MEMBERS (DBL, TRPL, ETC.) SHALL BE GLUED TOGETHER WITH WATERPROOF CONSTRUCTION ADHESIVE AND FASTENED WITH (2)-ROWS OF 16D "SINKER" NAILS AT 9" O.C. UNO
- ALL CONNECTIONS FOR WOOD MEMBERS SHALL BE PER IBC 2018 TABLE 2304.10.1 EXCEPT WHERE NOTED OTHERWISE
- ALL CLIPS AND HANGERS SHALL BE INSTALLED WITH MAX NAILS OF NUMBER AND SIZE AS INDICATED IN MANUFACTURER'S CATALOG UNO
- THE BASIS OF DESIGN PRODUCT IS LISTED FOR ALL METAL FRAMING ANCHORS. CONTRACTOR MAY SUBMIT EQUIVALENT PROPRIETARY CONNECTORS FOR USE SUBJECT TO EOR APPROVAL. SEE SPECIFICATIONS FOR SUBSTITUTION SUBMITTAL REQUIREMENTS.
- WOOD SCREWS SHALL BE INSTALLED USING A LEAD HOLE WITH DIAMETER EQUAL TO 70% OF THE SCREW ROOT DIAMETER. SCREWS SHALL BE INSERTED INTO THE HOLE WITH A TURNING ACTION AND NOT A DRIVING ACTION. THE MINIMUM EMBEDMENT INTO THE MAIN MEMBER FOR WOOD SCREWS SHALL BE SIX TIMES THE SCREW DIAMETER UNO
- LAG SCREWS SHALL BE INSTALLED USING A LEAD HOLE WITH DIAMETER EQUAL TO 75% OF THE LAG SCREW SHANK DIAMETER AND A CLEARANCE HOLE EQUAL TO 100% OF THE LAG SCREW SHANK DIAMETER. THE LEAD HOLE SHALL BE OF DEPTH EQUAL TO THE EMBEDMENT OF THE LAG SCREW, AND THE CLEARANCE HOLE SHALL BE OF DEPTH EQUAL TO THE LENGTH OF UNTHREADED SHANK. LAG SCREWS SHALL BE INSERTED INTO THE HOLE WITH A TURNING ACTION AND NOT A DRIVING ACTION. THE MINIMUM EMBEDMENT INTO THE MAIN MEMBER FOR LAG SCREWS SHALL BE FOUR TIMES THE SCREW DIAMETER UNO.
- ALL BOLTS CONNECTING ROUGH CARPENTRY SHALL HAVE AN ASTM F844 WASHER BENEATH BOTH THE HEAD AND THE NUT.

**GENERAL NOTES**

- STRUCTURAL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF PROJECT DRAWINGS, PROJECT MANUAL, AND ALL SHOP DRAWING SUBMITTALS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND COORDINATING DIMENSIONS, CLEARANCES AND ALL OTHER COORDINATION ISSUES WITH OTHER TRADES.
- IN CASE OF CONFLICT BETWEEN VARIOUS STRUCTURAL DRAWINGS, STRUCTURAL PLANS, OR STRUCTURAL DETAILS THE MORE STRINGENT SHALL GOVERN. THE CONTRACTOR SHALL MAKE ALLOWANCE IN HIS BID FOR THE MORE COSTLY CONDITION.
- IN CASE OF CONFLICT BETWEEN DRAWINGS, DRAWING NOTES, AND SPECIFICATIONS THE MORE STRINGENT SHALL GOVERN. THE CONTRACTOR SHALL MAKE ALLOWANCE IN HIS BID FOR THE MORE COSTLY CONDITION.
- WORK NOT INDICATED ON THE DRAWINGS, BUT REASONABLY IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING PLACES SHALL BE REPEATED.
- ALL NOTES, DETAILS AND SECTIONS ARE INTENDED TO BE TYPICAL FOR THE GENERAL CONDITIONS INDICATED OR REFERENCED. ALL NOTES, DETAILS AND SECTIONS SHALL APPLY TO ANY SIMILAR SITUATION THROUGHOUT THE ENTIRE PROJECT UNLESS A SEPARATE NOTE, DETAIL OR SECTION IS PROVIDED.
- REVIEW ALL PROJECT DOCUMENTS PRIOR TO FABRICATION AND START OF CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING AND IN PLACE WORK OR UTILITIES DURING CONSTRUCTION.
- COORDINATE STRUCTURAL DRAWINGS WITH OTHER CONTRACT DRAWINGS, SPECIFICATIONS, OR SHOP DRAWINGS WHICH MAY AFFECT THE STRUCTURAL WORK.
- USE OF REPRODUCED CONTRACT DRAWINGS IN PART OR WHOLE FOR THE PURPOSE OF SHOP DRAWING PREPARATION SHALL NOT RELIEVE THE CONTRACTOR OR SUBCONTRACTOR FROM THE REQUIREMENT TO ACCURATELY LAYOUT, COORDINATE, DETAIL, FABRICATE AND INSTALL A COMPLETE STRUCTURE.
- ALL SUBMITTALS SHALL BE REVIEWED BY THE SUBCONTRACTOR AND CONTRACTOR FOR CONFORMANCE TO THE CONTRACT DOCUMENTS, FOR COMPLETENESS, AND TO RESPOND TO CONTRACTOR COORDINATION RELATED QUESTIONS PRIOR TO SUBMITTING FOR APPROVAL. ALL SHEETS SHALL BE STAMPED AND INITIALED BY THE CONTRACTOR INDICATING SUCH A REVIEW HAS BEEN COMPLETED PRIOR TO ISSUING SUBMITTAL FOR APPROVAL.
- CONTRACTOR SHALL MAKE NO DEVIATIONS FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN APPROVAL.
- ALL ELEVATIONS INDICATED IN STRUCTURAL DRAWINGS ARE IN REFERENCE TO A GROUND FLOOR FINISHED SLAB ELEVATION OF 0'-0" UNLESS NOTED OTHERWISE. SEE CIVIL FOR GROUND FLOOR FINISHED SLAB ELEVATION.

**CONCRETE**

- TYPICAL 28 DAY CONCRETE COMPRESSIVE STRENGTH (FC).

| LOCATION                 | FC(Psi)   |
|--------------------------|-----------|
| SLAB ON GRADE            | 3000 (NW) |
| GRADE BEAMS/ FOUNDATIONS | 3000 (NW) |

- NOTE: ALL CONCRETE SHALL BE NORMAL WEIGHT UNLESS NOTED OTHERWISE.
- REINFORCING STEEL: ASTM A 615, GRADE 60. MINIMUM LAP SHALL BE 40 BAR DIAMETERS OR 24 INCHES MINIMUM, U.N.O.
  - WELDED WIRE FABRIC: ASTM A 185 OR ASTM A 497. LAP ALL EDGES 1'-0" MESH MINIMUM.
  - CONCRETE COVER: FOUNDATIONS 3". SLABS: LOCATE WWF 1.5" FROM TOP OF SLAB (U.N.O.)
  - VIBRATORY SLED OR TAMPER SHOULD BE USED TO DENSIFY ANY SOILS IN THE BOTTOM OF THE FOOTING TRENCHES LOOSENEED DURING THE EXCAVATION OPERATION.
  - CONTRACTOR IS RESPONSIBLE FOR ADEQUATELY PROTECTING ALL EXCAVATION SLOPES.
  - ALL CONTINUOUS REINFORCING SHALL BE LAPPED ACCORDING TO LAP SPLICE AND EMBEDMENT REQUIREMENTS PER ACI 318, CURRENT EDITION.
  - REINFORCEMENT SHALL BE SECURELY HELD IN PLACE WHILE PLACING CONCRETE. IF REQUIRED, ADDITIONAL BARS AND STIRRUPS SHALL BE PROVIDED BY THE CONTRACTOR TO FURNISH SUPPORT FOR BARS.
  - THE DESIGN AND CONSTRUCTION OF FORMS SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:
    - FORMS SHALL CONFORM TO SHAPE, FORM AND LINES ON DRAWINGS.
    - ADEQUATE BRACING SHALL BE USED.
    - FORMS SUPPORTED ON GROUND SHALL HAVE ADEQUATE MUDSILLS.
    - QUALIFIED WORKMEN SHALL CONSTANTLY OBSERVE AND ADJUST, AS REQUIRED, ALL SHORES DURING CONCRETE PLACING.
    - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS.
    - SPECIAL ATTENTION IS DIRECTED TO THE REQUIREMENT THAT THE CONTRACTOR MUST ADJUST THE SHORING, USING SURVEYING INSTRUMENTS, DURING AND IMMEDIATELY AFTER PLACING OF CONCRETE FOR SLABS. THIS ADJUSTMENT MUST NOT BE ATTEMPTED AFTER THE INITIAL SET OF CONCRETE.
    - SHORING SHALL REMAIN IN PLACE UNTIL CONCRETE HAS ATTAINED 75% OF ITS 28-DAY STRENGTH.
  - CONTRACTOR SHALL MAKE NO DEVIATIONS FROM DESIGN DRAWINGS WITHOUT WRITTEN APPROVAL OF THE EOR
  - PROVIDE CONCRETE MIX DESIGN FOR REVIEW AND APPROVAL PRIOR TO CONCRETE PLACEMENT. PROVIDE MIX DESIGNS FOR FOOTING AND FOR SLABS
  - PROVIDE REBAR PLACEMENT SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO REBAR FABRICATION. SHOP DRAWING SHALL INDICATE REBAR SIZE, LOCATION, EXTENT, GRADE AND QUANTITY
  - DOWELS SHALL MATCH PIER REINFORCING.
  - ALL SLABS SHALL HAVE A BROOM FINISH.
  - CONTRACTOR SHALL REPAIR ALL DEFECTS TO THE SLAB FLOOR FINISH CAUSED BY CONSTRUCTION TRAFFIC PRIOR TO PLACEMENT OF THE FLOOR FINISH.
  - STRUCTURAL CONCRETE SHALL CONFORM TO ACI 301 AND HAVE THE FOLLOWING REQUIREMENTS"
 

|                                      |   |
|--------------------------------------|---|
| FOOTINGS AND CMU PIER FILL: -        | SLAB ON GRADE: -                        |
| 3000-PSI NORMAL WEIGHT               | 3000-PSI NORMAL WEIGHT                  |
| AGGREGATES: 3/4" MAX AGGREGATE SIZE. | AGGREGATES: 3/4" MAX AGGREGATE SIZE.    |
| AIR CONTENT: = 5% +/- 1.5%           | AIR CONTENT: = 3% +/- 0%                |
| WATER/ CEMENT RATIO: .5 MAX.         | WATER/ CEMENT RATIO: .5 MAX.            |
| WEIGHT: 145-PCF                      | WEIGHT: 145-PCF                         |
| SLUMP: = 4"                          | SLUMP: = 4"                             |
|                                      | MIN. CEMENTITIOUS CONTENT: = 540-LBS/CF |

**MASONRY**

- MASONRY CONSTRUCTION SHALL CONFORM TO ACI "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES" (ACIASCE 530) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (ACIASCE 530.1) EXCEPT AS AMENDED BELOW.
- USE TYPE "S" MORTAR WITH MINIMUM COMPRESSIVE STRENGTH OF 1800 PSI.
- MASONRY UNITS SHALL CONFORM TO ASTM C90 WITH A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI UNO NET SECTION, TO PROVIDE NET AREA COMPRESSIVE STRENGTH OF MASONRY (FM) OF 1500 PSI.
- PROVIDE FILLED CELLS AS SHOWN ON PLANS.
- PROVIDE FULL MORTAR BEDDING.
- REINFORCING FOR FILLED CELLS SHALL CONFORM TO ASTM A615, GRADE 60.
- CONCRETE FOR FILLED CELLS SHALL BE VIBRATED DURING PLACEMENT USING A "PENCIL" TYPE VIBRATOR.

**STRUCTURAL WOOD SHEATHING**

- ALL STRUCTURAL WOOD SHEATHING SHALL CONFORM TO IBC2018 & NDS 2018.
- MINIMUM WIDTH OF SHEATHING PANELS SHALL BE 24" UNLESS NOTED OTHERWISE.
- STAGGER SHEATHING JOINTS UNLESS NOTED OTHERWISE
- SPACE PANEL EDGES 1/8" APART
- SEE TYPICAL DETAILS FOR FASTENING REQUIREMENTS FOR SPECIFIC SHEATHING APPLICATIONS

**STRUCTURAL DESIGN CRITERIA**

- FOUNDATION DESIGN VALUES:  
ALLOWABLE BEARING CAPACITY 1500 PSF (ASSUMED)

GRAVITY LOAD DESIGN VALUES: IBC-2018 / ASCE 7-16

FLOOR LIVE LOADS:  
RESIDENTIAL 40-PSF

ROOF LIVE LOADS:  
FLAT ROOF 20-PSF

GROUND SNOW LOADS:  
SNOW 5-PSF

DEAD LOADS:  
ACTUAL MATERIAL WEIGHTS PER ASCE 7-16, SEE ARCHITECTURAL DRAWINGS FOR ROOF, WALL, AND FLOOR CONSTRUCTION

RAIN LOAD DESIGN VALUES: IBC-2018 / ASCE 7-16  
60 MIN. SURATION/100 YEAR MEAN RECURRENTANCE:  
INTENSITY (i) = 4.47 IN/HR

3. SEISMIC DESIGN VALUES: IBC-2018 / ASCE 7-16  
Ss = 1.20g  
S1 = 0.37g  
Sds = 0.96g  
Sd1 = 0.41g  
SITE CLASS: "D" (DEFAULT)  
BUILDING RISK CATEGORY: "II"  
IMPORTANCE FACTOR: I<sub>p</sub> = 1.0  
SEISMIC DESIGN CATEGORY: "D"  
ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE  
SEISMIC FORCE RESISTING SYSTEM:  
-LIGHT FRAMED WOOD SHEAR WALLS SHEATHED W/ WOOD STRUCTURAL PANELS  
RESPONSE MODIFICATION FACTOR: R = 6.5  
DEFLECTION AMPLIFICATION FACTOR: Cd = 4.0  
SYSTEM OVERSTRENGTH FACTOR: OMEGA = 3.0

ALLOWABLE INTERSTORY DRIFT: 0.020 Hsx

4. WIND LOAD DESIGN VALUES: IBC-2018 / ASCE 7-16  
V = 147 mph (3-sec gust)  
BUILDING RISK CATEGORY: "II"  
IMPORTANCE FACTOR: I = 1.0  
EXPOSURE CATEGORY: "B"  
ENCLOSURE CLASSIFICATION: ENCLOSED

WIND DIRECTIONALITY FACTOR: K<sub>d</sub> = 0.85  
TOPOGRAPHIC FACTOR: K<sub>z1</sub> = 1.0  
VELOCITY EXPOSURE COEFFICIENT: K<sub>z</sub> = .673  
VELOCITY PRESSURE: q = 30.77 PSF

INTERNAL PRESSURE COEFFICIENT: GCp<sub>i</sub> = +/- 0.18

ALLOWABLE INTERSTORY DRIFT: 0.0025 Hsx @ 10 YEAR MRI WIND PRESSURES

**TIMBER**

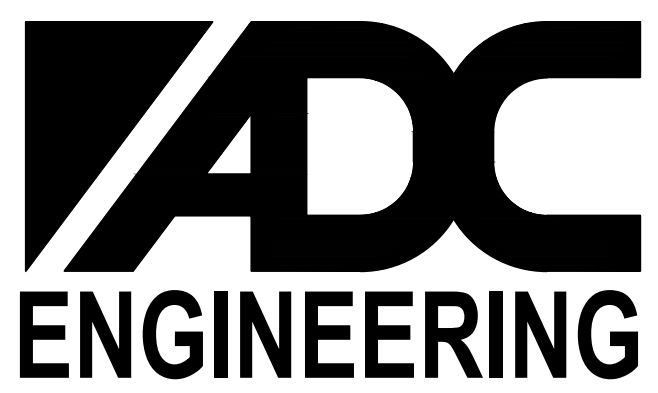
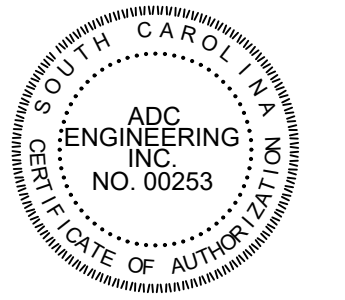
- STRUCTURAL TIMBERS SHALL BE SOUTHERN YELLOW PINE.
- TIMBER CONNECTORS SHALL BE SIMPSON STRONG TIE CONNECTORS, AND THE CONNECTION REQUIREMENTS SHALL BE PER SIMPSON'S SPECIFICATIONS.
- TIMBER DESIGNATED AS "WOOD OR TR" SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AWPA STANDARD C2. ALL TIMBER USED IN DECKS AND PORCHES AND OTHER EXPOSED AREAS SHALL BE PRESSURE TREATED.
- ALL STEEL SHAPES, PLATES & BOLTS SHALL BE GALVANIZED.
- ALL LVL LUMBER SHALL BE 2.0E W/ MIN. PROPERTY VALUES: Fb = 2600 PSI Fv = 285 PSI Fc = 750 PSI E = 2,000,000 PSI
- AT TOP FL. SL. PLYWOOD TO LAP OVER HURRICANE CLIPS AND THEN ATTACHED TO TOP PL. ALL STEEL SHAPES, PLATES & BOLTS SHALL BE GALVANIZED.
- ALL MULTIPLE MEMBER 2X HEADERS/BEAMS SHALL BE NAILED TOGETHER (STAGGERED), UNLESS NOTED OTHERWISE ON PLAN OR IN DETAILS AND SECTIONS
- ALL ROOF SHEATHING SHALL BE MINIMUM 19/32" SHEATHING SHALL BE ATTACHED WITH 10D RING SHANKED NAILS @ 4" O.C. AROUND THE PERIMETER (MAX.), AND 6" O.C. @ THE INTERIOR (MAX.) UNO
- FOR ALL ROOF AND WALL SHEATHING, SOLID BLOCKING SHALL INSTALLED BETWEEN STUDS AND RAFTERS, ALONG ALL PANEL EDGES. DO NOT SPLICE PLYWOOD AT FLOOR LEVELS. PLYWOOD SHEATHING SHALL LAP FROM FIRST FLOOR WALLS OVER THE SECOND FLOOR TRUSS AND ON TO THE SECOND FLOOR WALLS, AND ALL SHEATHING SHALL BE NAILED TO EACH SILL AND TOP PLATES @ 4" O.C.
- UNLESS NOTED OTHERWISE ON PLAN, ALL LVL BEAMS/HEADERS SHALL BEAR ON A TRIPLE STUD COLUMN, 4X4 POST OR 6X6 POST. ALL PARALLAMS SHALL BE FASTENED TO POSTS, STUDS, OR BEAMS WITH 2-CS16 STRAPS, OR SIMPSON CC TYPE CONK. SEE TYP. DETAIL, AT EACH END. ALL TRIPLE STUD AND POST BASES SHALL BE ATTACHED TO THE POSTS STRUCTURAL SUPPORT MEMBER W/ 2HSR AND 2-CS16 STRAPS AT EACH POST, OR A SIMPSON TYPE COLUMN BASE CONK.
- UNLESS NOTED OTHERWISE ON PLAN, ALL BUILT-UP 2X HEADERS SHALL BEAR ON A DOUBLE JACK STUDS, W/ A DOUBLE KING STUD. NAIL KING STUDS TO THE END OF EACH HEADER, W/ A MIN. 8-16D NAILS
- PROVIDE MIN. TRIPLE STUDS @ ALL BEAM BEARING LOCATIONS
- ALL PLYWOOD SHALL HAVE A MIN SPAN RATING OF 4024 (UNO)
- ALL NAILS USED IN PRESSURE TREATED LUMBER SHALL BE HOT DIPPED GALVANIZED (HDG)

**WOOD TRUSS FRAMING**

- ALL WOOD TRUSSES SHALL CONFORM TO IBC 2018 & NDS 2018.
- TRUSS LAYOUT, INSTALLATION, CONNECTIONS AND BRACING SHALL BE IN STRICT ACCORDANCE WITH APPROVED SHOP DRAWINGS.
- DO NOT FIELD MODIFY TRUSSES WITHOUT SUBMITTING SUPPORTING DOCUMENTATION FOR EOR APPROVAL. SUBMITTED DOCUMENTATION SHALL INCLUDE SIGNED AND SEALED CALCULATIONS PROVIDED BY THE TRUSS DESIGNER.
- ALL PILES OF MULTI-PLY MEMBERS SHALL BE FASTENED TOGETHER IN ACCORDANCE WITH APPROVED SHOP DRAWINGS.
- ALL CLIPS AND HANGERS SHALL BE INSTALLED WITH MAX NAILS OF NUMBER AND SIZE AS INDICATED IN MANUFACTURER'S CATALOG UNO
- THE ERECTOR SHALL PROVIDE TEMPORARY BRIDGING, BRACING, AND GUYS TO STABILIZE TRUSSES UNTIL PERMANENT BRACING IS INSTALLED AND SHEATHING OR DECKING IS IN PLACE AND FASTENED.

**RENOVATION & GARAGE ADDITION**

**35 PAINTED BUNTING, KIAWAH ISLAND, SC**



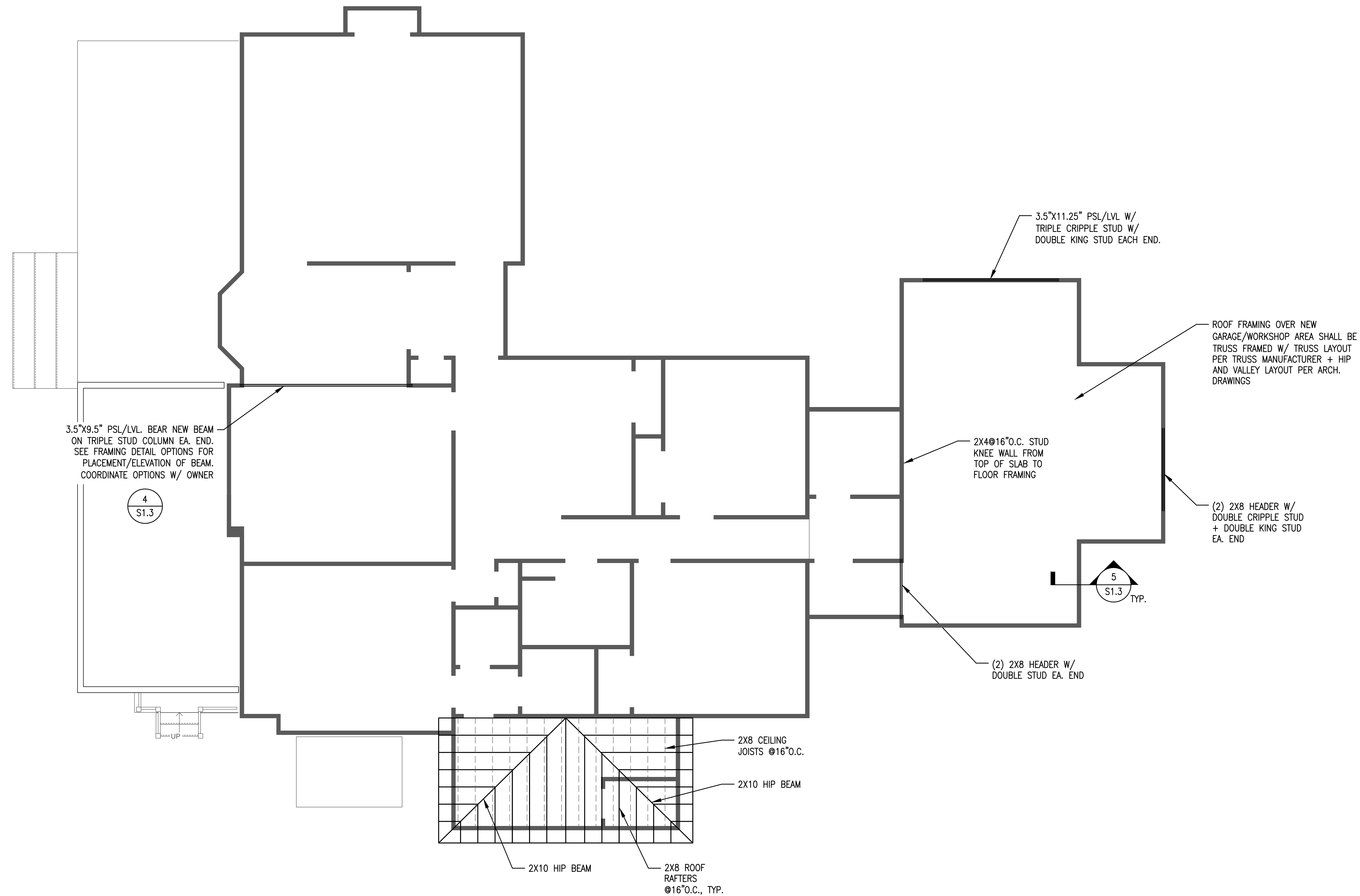
1226 YEAMANS HALL ROAD  
HANAHAN, SC 29410  
843-566-0161  
ADCENGINEERING.COM

DATE: \_\_\_\_\_  
ADC PROJECT #: 06/01/2022  
DESIGNED: 22022  
CHECKED: JMD  
DRAWN: JMD  
REVISION: AO

**GENERAL NOTES**

**S0.1**





3.5"x9.5" PSL/LVL. BEAR NEW BEAM ON TRIPLE STUD COLUMN EA. END. SEE FRAMING DETAIL OPTIONS FOR PLACEMENT/ELEVATION OF BEAM. COORDINATE OPTIONS W/ OWNER

4  
S1.3

3.5"x11.25" PSL/LVL W/ TRIPLE CRIPPLE STUD W/ DOUBLE KING STUD EACH END.

ROOF FRAMING OVER NEW GARAGE/WORKSHOP AREA SHALL BE TRUSS FRAMED W/ TRUSS LAYOUT PER TRUSS MANUFACTURER + HIP AND VALLEY LAYOUT PER ARCH. DRAWINGS

2X4@16"O.C. STUD KNEE WALL FROM TOP OF SLAB TO FLOOR FRAMING

(2) 2X8 HEADER W/ DOUBLE CRIPPLE STUD + DOUBLE KING STUD EA. END

5  
S1.3 TYP.

(2) 2X8 HEADER W/ DOUBLE STUD EA. END

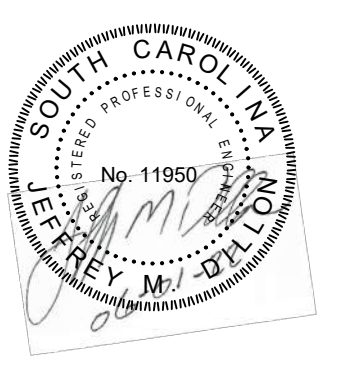
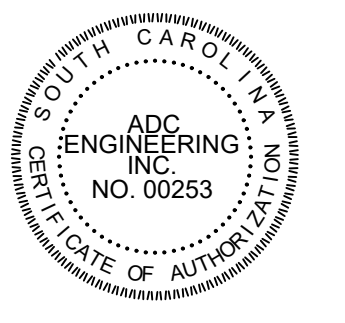
2X8 CEILING JOISTS @16"O.C.

2X10 HIP BEAM

2X10 HIP BEAM

2X8 ROOF RAFTERS @16"O.C., TYP.

**1** ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"

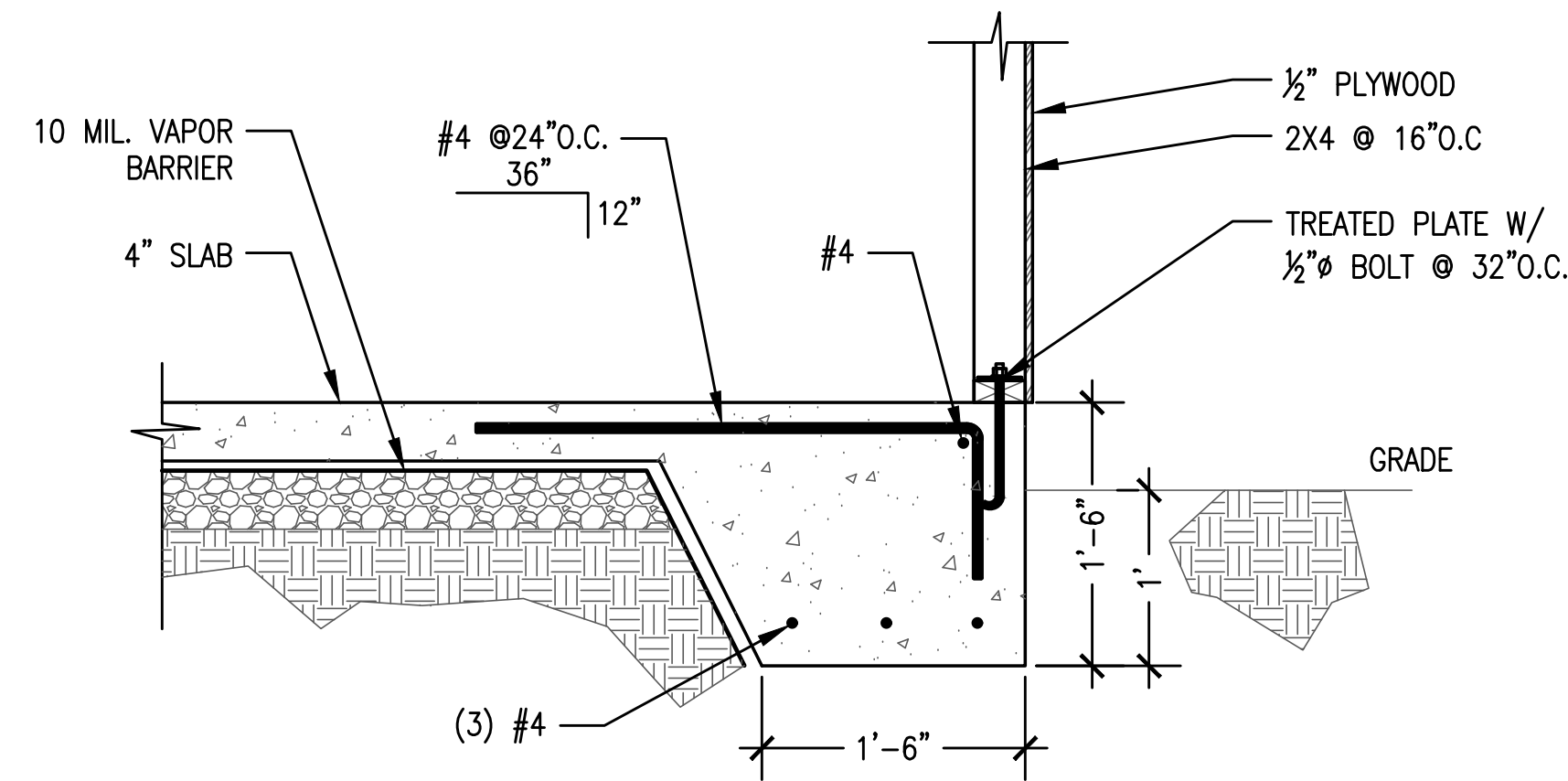


1226 YEAMANS HALL ROAD  
HANAHAN, SC 29410  
843-566-0161  
ADCENGINEERING.COM

|                |            |
|----------------|------------|
| DATE:          | 06/01/2022 |
| ADC PROJECT #: | 22022      |
| DESIGNED:      | JMD        |
| CHECKED:       | JMD        |
| DRAWN:         | AO         |
| REVISION:      |            |

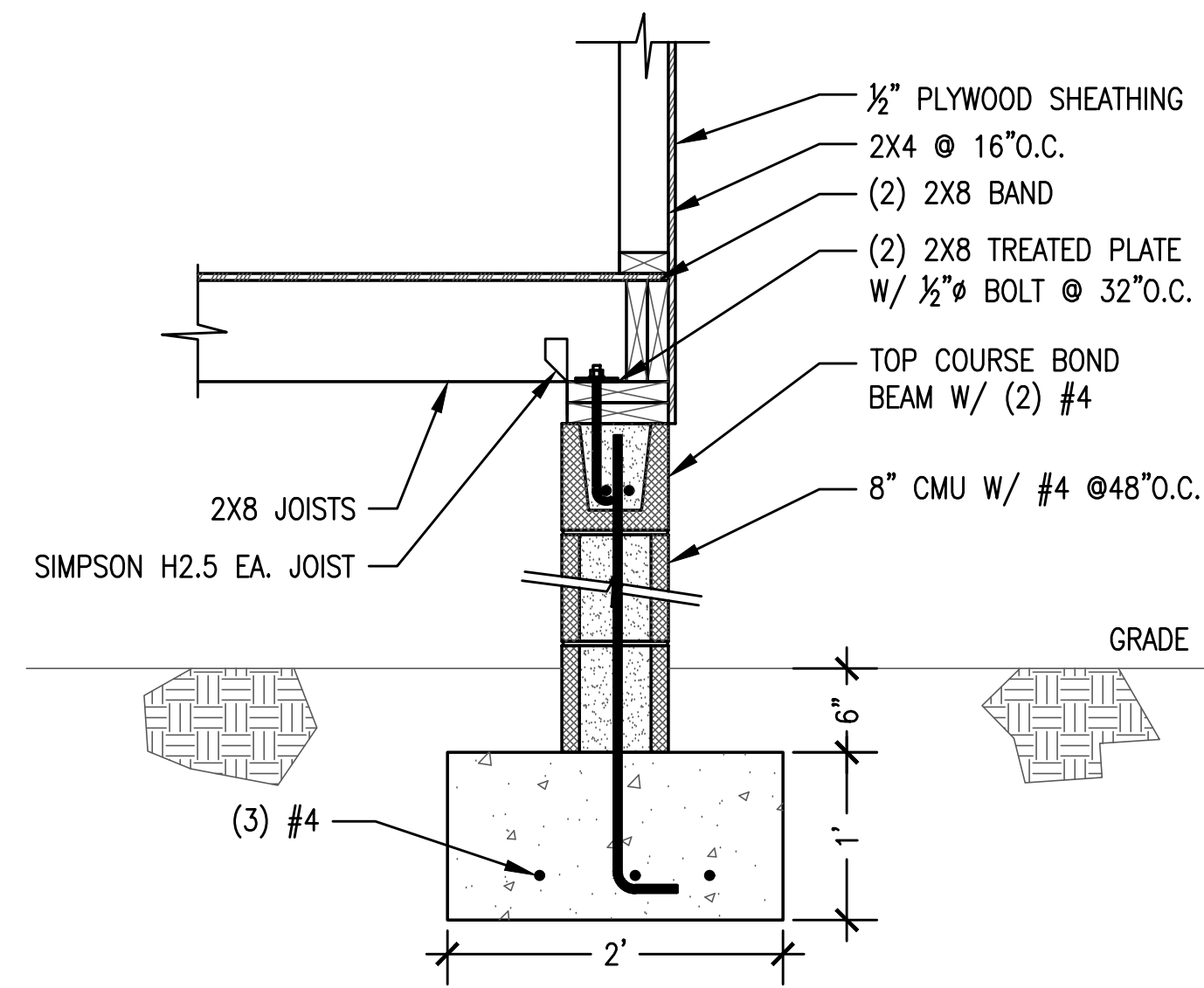
PLANS

S1.2



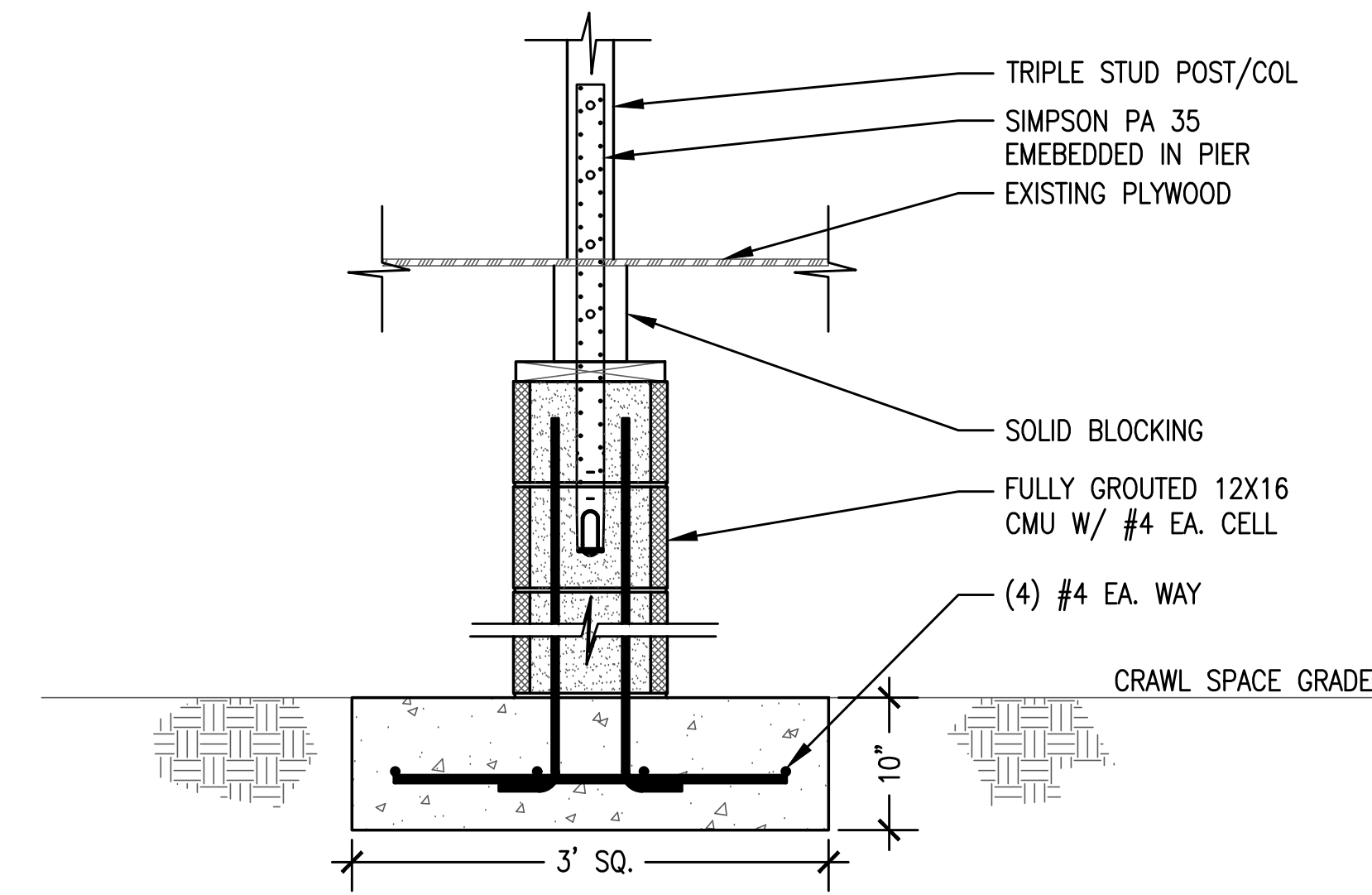
**1 THICKENED SLAB  
EDGE @ GARAGE**

SCALE: 1" = 1'-0"



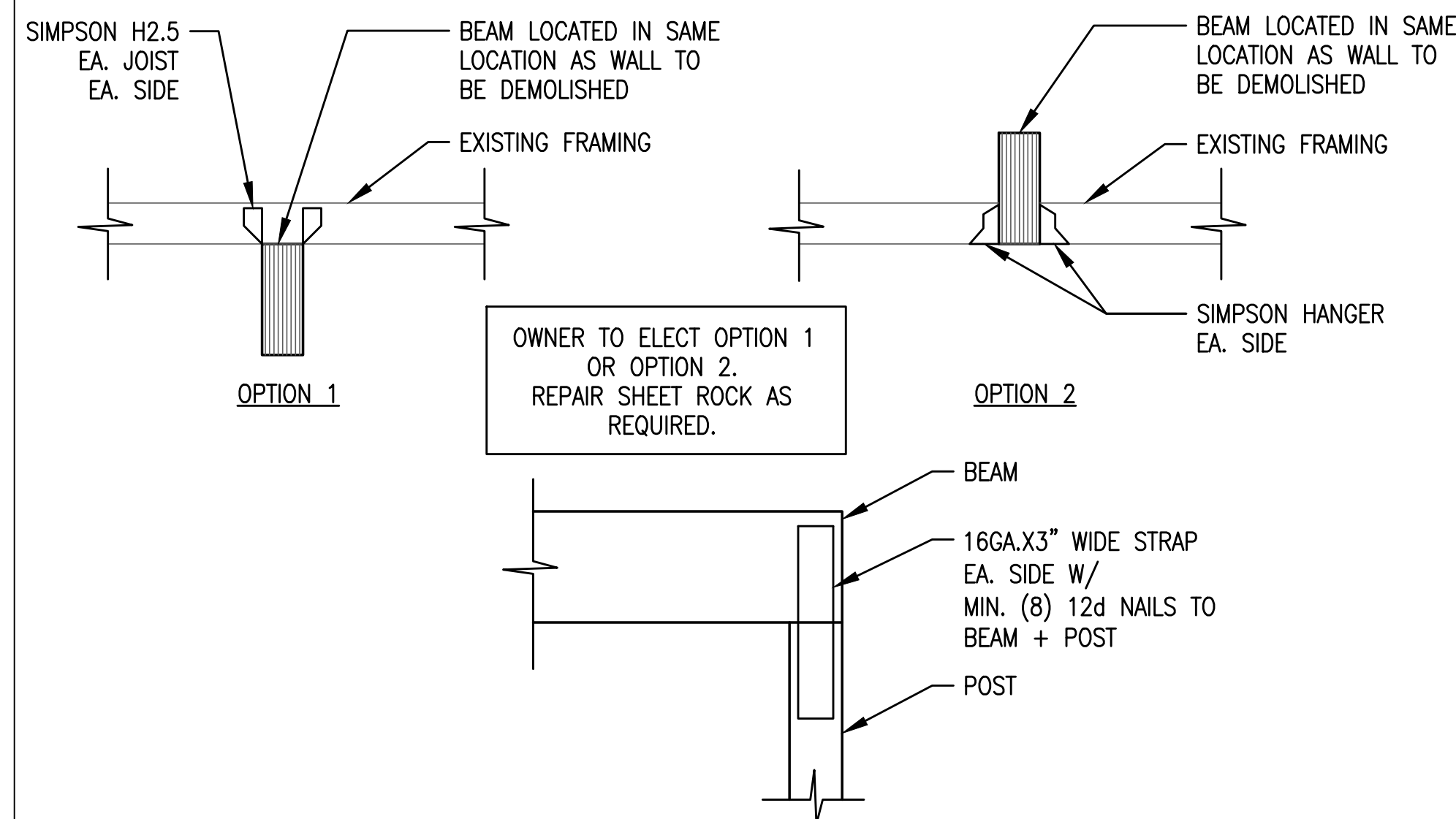
**2 DETAIL @ BATH**

SCALE: 1" = 1'-0"



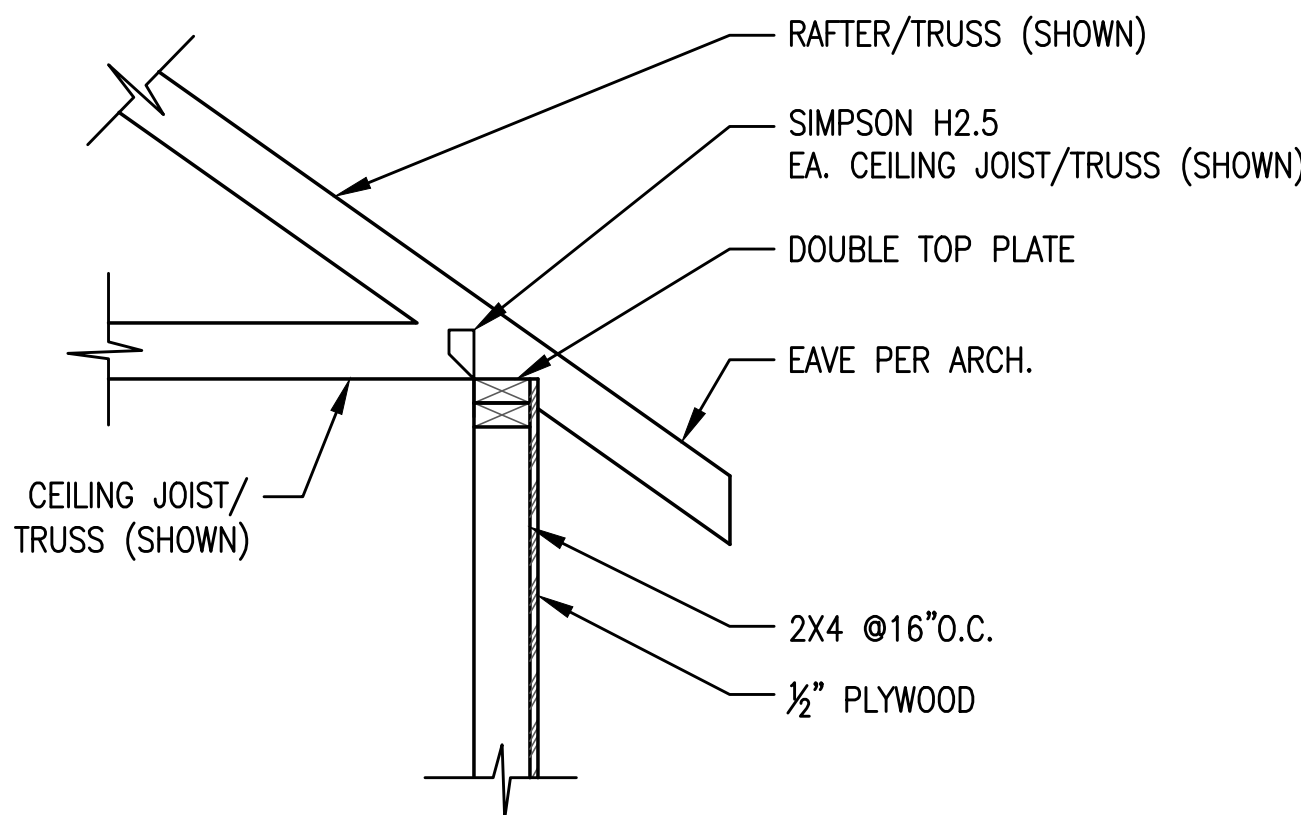
**3 DETAIL @  
DINING ROOM POST**

SCALE: 1" = 1'-0"



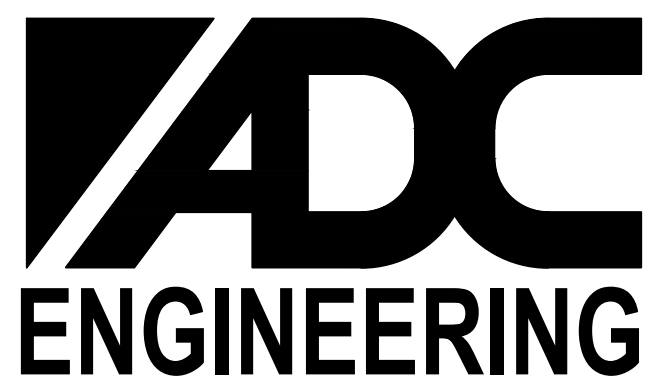
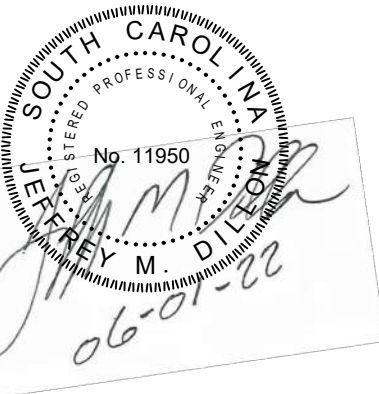
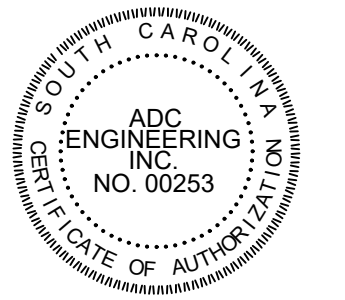
**4 DINING ROOM  
BEAM DETAIL**

SCALE: 1" = 1'-0"



**5 ROOF TO WALL DETAIL**

SCALE: 1" = 1'-0"



1226 YEAMANS HALL ROAD  
HANAHAN, SC 29410  
843-566-0161  
ADCENGINEERING.COM

DATE: 06/01/2022  
ADC PROJECT #: 22022  
DESIGNED: JMD  
CHECKED: JMD  
DRAWN: AO  
REVISION:

SECTIONS AND  
DETAILS

S1.3

# Major Improvement Review

Kiawah Island Architectural Review Board • 253 Gardeners Circle, Suite 200 • Johns Island SC 29455 • 843.768.3419 • 843.768.0517 (fax)  
 Mailing Address: 130 Gardeners Circle, Suite 123 • Johns Island SC 29455 • arb@kiawah.com • [www.KiawahARB.com](http://www.KiawahARB.com)

**Address of Project** \_\_\_\_\_

**Owner** \_\_\_\_\_ **Architect** \_\_\_\_\_

Telephone \_\_\_\_\_ Telephone \_\_\_\_\_

Email \_\_\_\_\_ Email \_\_\_\_\_

**Landscape Architect** \_\_\_\_\_ **Contractor** \_\_\_\_\_

Telephone \_\_\_\_\_ Telephone \_\_\_\_\_

Email \_\_\_\_\_ Email \_\_\_\_\_

**Type of Improvement** \_\_\_\_\_

DRAWINGS ARE REQUIRED FOR REVIEW- EACH SHEET MUST BE STAMPED AND SIGNED BY THE SC REGISTERED ARCHITECT, LANDSCAPE ARCHITECT, OR ENGINEER.

**Does the neighborhood have Supplemental Guidelines?**  Yes, \_\_\_\_\_  No

**Is Regime Approval Needed?**  Yes, Approval Attached  No

**Are there any Variance Requests?**  Yes, Request Form Attached  No

**Height Restriction:** \_\_\_\_\_  Above Base Flood Elevation  Above Grade

**Total Highland Area:** \_\_\_\_\_ **Lot Coverage Maximum:** \_\_\_\_\_

**Building Square Footage Calculations**

| <b>Conditioned</b>                            | Existing | Proposed |
|---|----------|----------|
| First Floor                                   | _____    | _____    |
| Second Floor                                  | _____    | _____    |
| Third Floor                                   | _____    | _____    |
| Ancillary Structure                           | _____    | _____    |
| <b>Total Conditioned</b>                      | _____    | _____    |
| Additional Screened/Covered<br>Garage/Carport | _____    | _____    |

**Setbacks**

Front \_\_\_\_\_ Sides \_\_\_\_\_  
 Rear \_\_\_\_\_

**Existing Bed/Bath** \_\_\_\_\_  
**Proposed Bed/Bath** \_\_\_\_\_

**Primary Lot Coverage Calculations**

|                                    | Existing | Proposed |
|------------------------------------|----------|----------|
| Building Footprint                 | _____    | _____    |
| Screened/Covered                   | _____    | _____    |
| Open Decking/Stairs                | _____    | _____    |
| Primary Drives/Walks*              | _____    | _____    |
| Raised Planters (≥ 36")            | _____    | _____    |
| Pool/Spa                           | _____    | _____    |
| HVAC Stand                         | _____    | _____    |
| <b>Primary Lot Coverage Sq. Ft</b> | _____    | _____    |
| <b>Lot Coverage Percentage</b>     | _____    | _____    |
| Secondary Elements                 | _____    | _____    |
| Primary + Secondary Total %        | _____    | _____    |

**Building Detail\*\***

|                      | Existing | Proposed |
|----------------------|----------|----------|
| Foundation Material  | _____    | _____    |
| Siding Material      | _____    | _____    |
| Trim Material        | _____    | _____    |
| Window Material      | _____    | _____    |
| Roofing Material     | _____    | _____    |
| Garage Door Material | _____    | _____    |
| Paved Areas          | _____    | _____    |
| Other _____          | _____    | _____    |

**ARB Action** (see official letter for details)

Approved  
 Disapproved

Review Fee \$ 1,000  
 Deposit Amount \$ 7,500 \$3,750 Contractor & \_\_\_\_\_ Owner

Jane Maybank 4/4/24  
 ARB Representative Date

\* PRIMARY DRIVES AND WALKS INCLUDE PERVIOUS AND IMPERVIOUS MATERIALS.

\*\* BUILDING MATERIALS & FINISHES REQUIRE A COMPLETED ONSITE COLOR REVIEW FORM & ONSITE SAMPLE FOR FINAL APPROVAL



April 4, 2024

Theresa and John Logan  
35 Painted Bunting  
Kiawah Island, SC 29455

PHYSICAL ADDRESS  
253 Gardeners Circle, Suite 200  
Johns Island, SC 29455

MAILING ADDRESS  
130 Gardeners Circle, Suite 123  
Johns Island, SC 29455

Re: **IMPROVEMENT REVIEW and VARIANCE**  
Address: 35 Painted Bunting  
ARB Action: Approved - Conditional

Dear Mr. and Mrs. Logan,

Thank you for your submittal to the Kiawah Island Architectural Review Board for review of Improvements to your home at 35 Painted Bunting. The additions of a garage and master bath to your home are approved to continue to the permit submittal with the following comments and conditions in keeping with the guidelines:

- L1. VARIANCE: The board reviewed the setback variance request at the 03/20/24 meeting and provided the proposed encroachment is no greater than existing, and no windows on this element will face the neighbors to the left, the variance is approved given the reduction in the distance of the existing encroachment from the setback and the improvements to the appearance of this element.
  - L2. A proposed landscape plan, showing revegetation of areas impacted by construction and new plantings as needed to meet current ARB Standards and Guidelines, should be submitted for review and approval 60 days prior to landscape installation. Please review the landscape requirements of the Design Guidelines.
  - L3. Please note that no trees have been approved for removal. If you propose tree removals or major impact to trees, this should be submitted for approval to the ARB.
  - L4. Due to the proposed change in footprint, please be reminded that an as-built survey will be required for the final inspection at the conclusion of construction.
- 
- A1. The Variance is granted with the proviso that there be no windows facing the neighbor. Please revise the design of this piece in your Permit drawings to reflect this.
  - A2. Please note that floodlights are discouraged on homes at Kiawah Island. Please limit the use of flood lights to no more than two fixtures, located in areas of pedestrian traffic. Alternate exterior lighting may be more appropriate at some existing floodlight locations.
  - A3. Please note that exterior light fixtures other than flood lights are required to screen any direct view of light bulbs. Fixtures designed to display light bulbs are required to use obscure glass. All new and existing exterior fixtures at your property should conform to this requirement. Please submit cut sheets for proposed new and replacement fixtures.
  - A4. All exterior materials, colors, and other finishes should match those of the existing house. If different materials or colors are proposed, please submit a material and color palette for approval. Prior to commencement of work, please submit an Onsite Color Review Form and provide accessible color samples of proposed materials and finishes onsite for field review. Please refer to the Design Guidelines, *Designing with Nature*, when making color

- selections. The design guidelines can be downloaded at [KiawahARB.com](http://KiawahARB.com).
- A5. Should a total repaint of the home in the current color palette be desired, please note that existing colors will need to be evaluated for compliance with ARB guidelines. Should a repaint of the home in a new color palette be desired, please submit a color palette for approval. Prior to commencement of work, please submit an Onsite Color Review Form and provide accessible color samples of proposed materials and finishes onsite for field review. Please refer to your neighborhood's approved colors when making color selections.
  - A6. Color Guidelines – Cementitious siding products must be a minimum value of 5 on the ARB Value Finder and trim color must be within 3 values of siding color. Bandboards must be painted to match either the foundation or the siding color and is not permitted to be the trim color. Additionally, corner boards must be painted out in the siding color and HVAC stand and any downspouts must be painted out in the color of the material to which they are adjacent. Garage doors and garage door trim must be painted to match the color of the foundation.
  - A7. Exterior Lighting – Floodlights are almost never permitted. A maximum number of two switched floodlights, or similar types of lighting attached to soffits and fascias, when allowed, must be hooded, low voltage, and approved in advance.
  - A8. Please note that exterior light fixtures other than flood lights are required to screen any direct view of light bulbs. Fixtures designed to display light bulbs are required to use ribbed or other obscure glass. All new and existing exterior fixtures at your property should conform to this requirement. Please submit cut sheets for proposed new and replacement fixtures.
  - A9. Please note that chimney caps are needed for exposed spark arrestors if any.
  - A10. Tankless water heaters are required to be architecturally screened or located in an area where they are not visible.

For the Permit Submittal, please submit one (1) digital copy of sealed drawings including a Tree Protection Plan, a completed Construction Application Deposit & Agreement Form, construction deposits, the Review Fee, and a KICA Encroachment Permit to this office at [ARB@Kiawah.com](mailto:ARB@Kiawah.com). Tree Protection fencing must be installed at time of Permit Submittal. When these items are received and Tree Protection fencing is verified, an ARB approval stamp and Building Permit will be issued for the project.

Thank you again for your submittal to the Kiawah Island Architectural Review Board. Please contact the ARB office if we can be of any assistance during the Permit Process for your home improvements.

Sincerely,



Jane Maybank, Director  
On behalf of the KIARB

cc: Property File



KIAWAH ISLAND

# COMMUNITY

ASSOCIATION

## APPLICATION TO KICA FOR ENGINEERING APPROVAL

Members seeking to perform construction activities within or into the Kiawah Island Community Association's (KICA's) right-of-way or associated easements, must make application with appropriate construction documents certified by a licensed professional engineer (SC) or state approved equivalent. Following an on-site inspection & review of submitted construction documents by KICA's Major Repair & Replacement (MR&R) department, a recommendation will be made to KICA's director of Major Repairs for approval or disapproval. Member will promptly be notified in writing of decision. Member agrees to meet all conditions established by KICA based on review of the proposed encroachment.

DATE: April 24, 2024 KIAWAH ADDRESS: 35 Painted Bunting

| MEMBER INFORMATION                              | CONTRACTOR INFORMATION  |
|---|---|
| NAME<br><u>John + Theresa Logan</u>             | NAME<br><u>Reliable Home Mgmt.</u>                              |
| ADDRESS<br><u>35 Painted Bunting</u>            | ADDRESS<br><u>3714 Betsy Kerrison Pkwy</u>                      |
| CITY, STATE ZIP<br><u>Kiawah Isl., SC 29455</u> | CITY, STATE ZIP <u>Suite 1</u><br><u>Johns Island, SC 29455</u> |
| DAY PHONE<br><u>704 - 232 - 3782</u>            | DAY PHONE<br><u>843.768.7185</u>                                |
| E-MAIL<br><u>jlogan41@comcast.net</u>           | E-MAIL<br><u>patti@reliablehomesc.com</u>                       |

DESCRIPTION OF ENCROACHMENT (attach photos if applicable):

Garage addition and new driveway and walkway to front entry

In the event KICA approves this application, member agrees that approval is subject to the following conditions:

1. Member and KICA agree that work may not begin until KICA has been provided with all of the requested design/construction documents.
2. KICA reserves the right to monitor and/or inspect, at any time, the encroachment activities as it ties into KICA's existing infrastructure. KICA must sign off on final approval under its encroachment program.
3. Should it be determined the construction activity has deviated from the encroachment plans approved by KICA, at any time, member agrees to undertake associated repairs within a reasonable time.
4. By allowing the member to encroach within KICA right-of-way and associated easements, KICA does not undertake any duty or responsibility with respect to its property or the member's property.
5. Member is responsible for all landscaping installation and/or repair, both on initial construction and ongoing.
6. Member agrees to keep KICA apprised of any alterations made to the proposed encroachment activity, particularly as it may affect KICA's storm water management system, the surrounding environment, and/or surrounding members.
7. Please direct any questions to Ryan Ellmers, KICA Civil Engineer, at KICA Maintenance, by phone at 843-768-2315 or by email at [ryan.ellmers@kica.us](mailto:ryan.ellmers@kica.us).

**AGREED:**

John+Theresa Logan  
Member's Printed Name

[Signature] 04/24/24  
Inspected by KICA Rep Date

[Signature] 4.24.24  
Member's Signature Date  
as agent for

**KICA ONLY - check one each below:**

Inspection:  Passed  Failed  
Recommend:  Approval  Disapproval  
Plans Received:  Yes  No

**COMMENTS:**

NOTE APPROVAL BASED ON KICA'S REVIEW FOR  
DRIVEWAY ENCROACHMENT ONLY

**APPROVED:**

KIAWAH ISLAND COMMUNITY ASSOCIATION

[Signature] 04/24/24  
Ryan K. Ellmers, PE Date  
KICA Civil Engineer

Cc: executed document:  Member File  WC/NS  Easement File



**35 PAINTED BUNTING CT**  
ENCROACHMENT - DRIVEWAY



110 P

35 PAINTED BUNTING CT

Greensward Rd

Greensward Rd

Painted Bunting Ct

Pond 012

KICA Leisure Trail

Google Earth

Image © 2024, Airbus



100 ft



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## 35 Painted Bunting Encroachment - Engineering Review

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**Patti Tuggle** <patti@reliablehomesc.com>

Wed, Apr 24, 2024 at 9:56 AM

To: ryan.ellmers@kica.us, dana@kica.us

Cc: Sean Burns <sean@reliablehomesc.com>, Megan Burns <megan@reliablehomesc.com>, Karina DiPippo

<karina@reliablehomesc.com>

Good morning,

Attached is the architectural drawing of the new driveway for this address. Let me know if you need anything else.

Thank you,

Patti



**Patti J. Tuggle**

Design Portfolio Manager

SC Residential Builder Lic #50102

3714 Betsy Kerrison Parkway, Suite I

Johns Island, SC 29455

P: (843) 768-7185



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**3 attachments**



**Image\_00853.jpg**  
240K



**Image\_00854.jpg**  
241K



**Image\_00855.jpg**  
249K